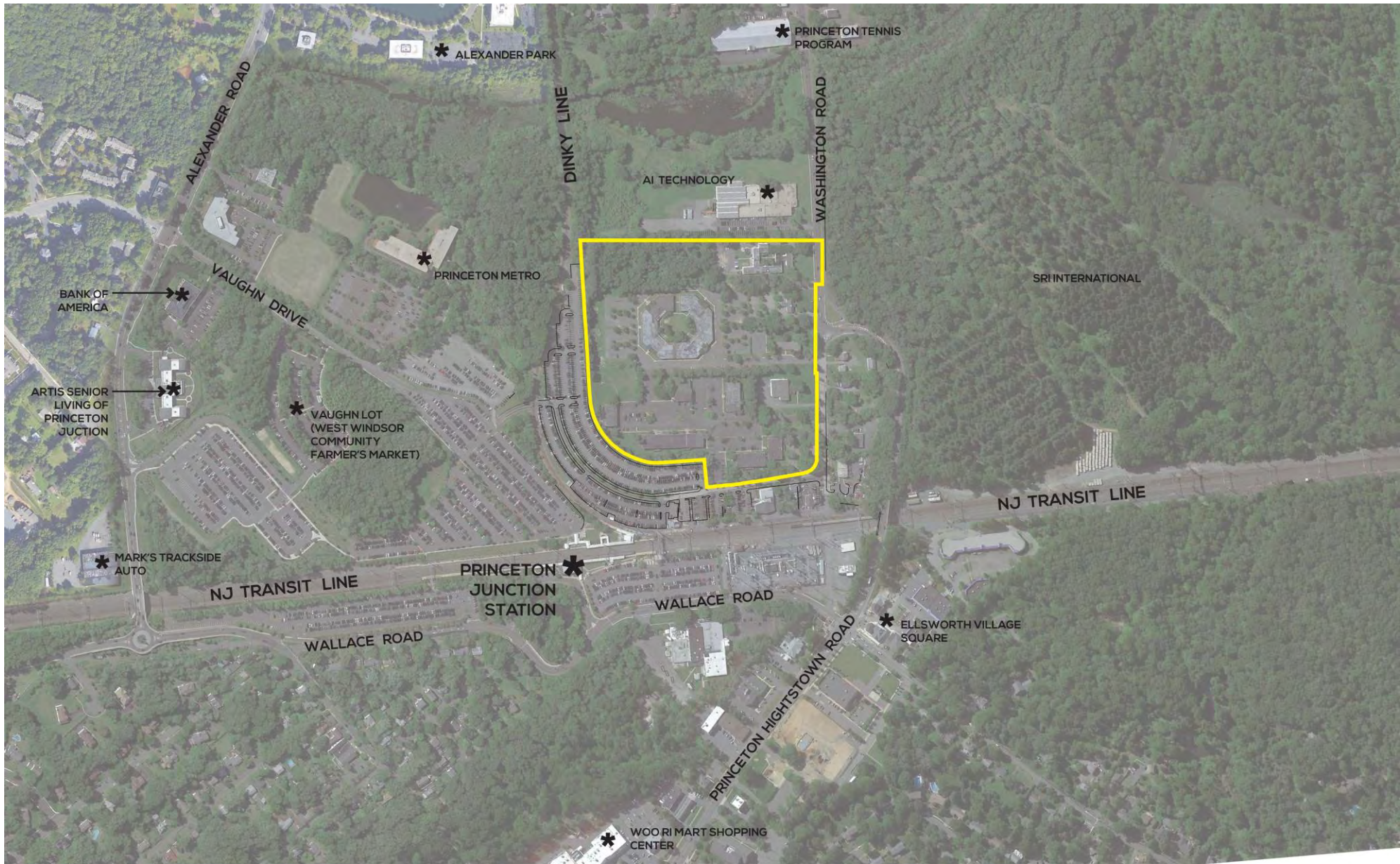


Princeton Junction Train Station Redevelopment

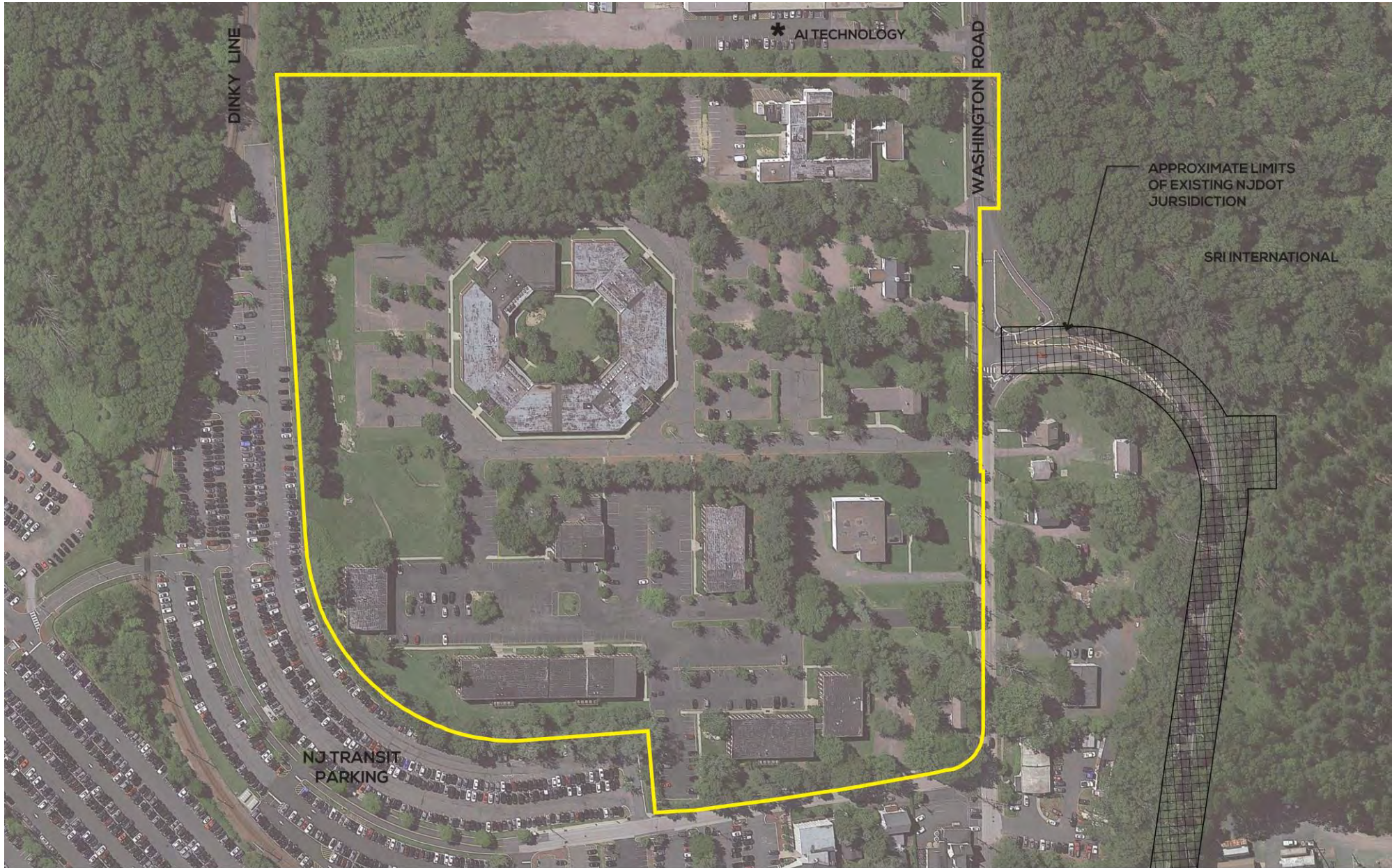
Planning Board Hearing

8/25/21



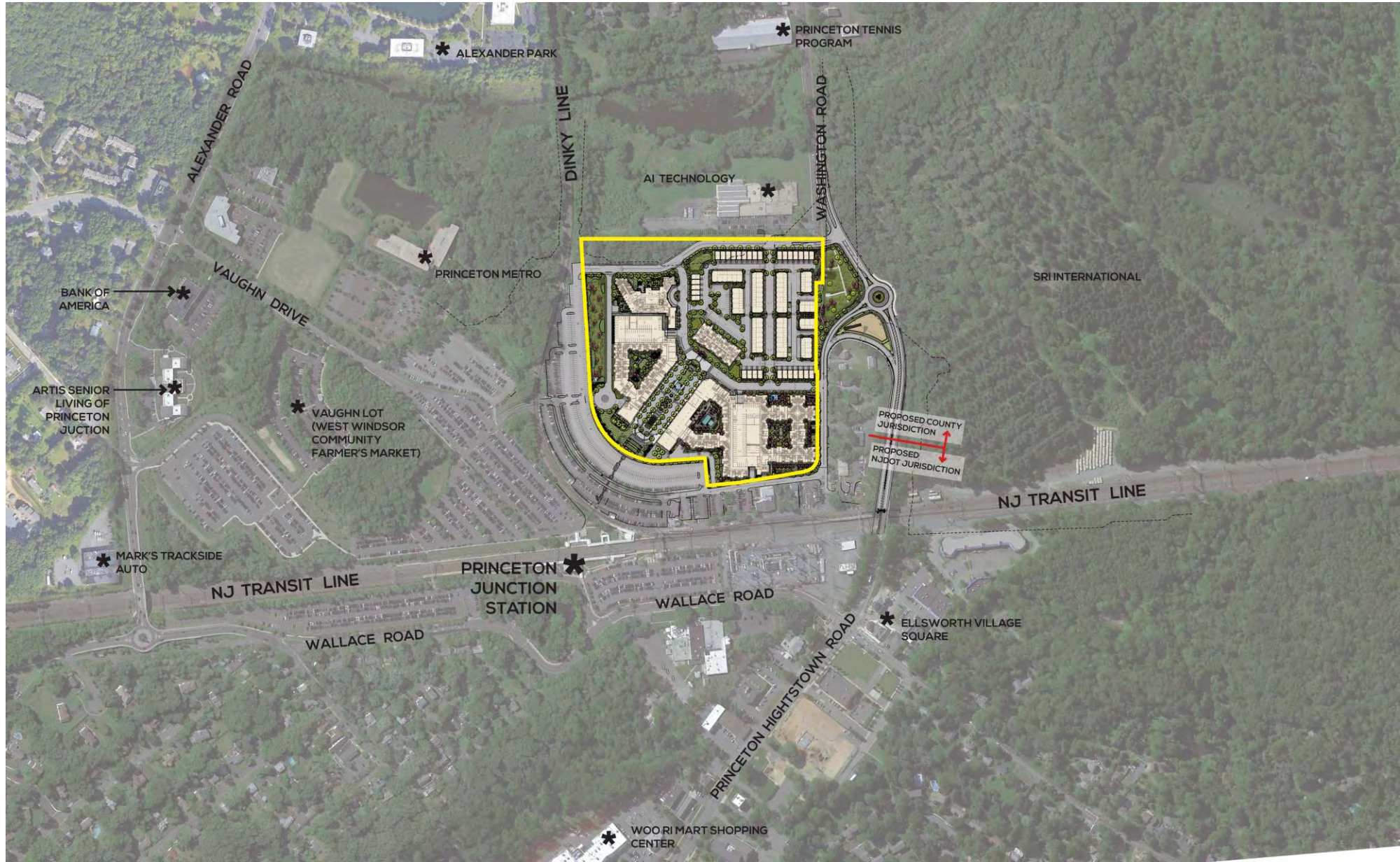
AERIAL/OVERALL
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 150'





EXISTING SITE CONDITIONS
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
DATE: 2021-08-25 SCALE: 1" = 50'





PROPOSED CONDITIONS
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: 1" = 150'





RENDERED SITE PLAN
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'



KEY

 PROMENADE AND RETAIL



RENDERED SITE PLAN/SHADED
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: 1" = 50'



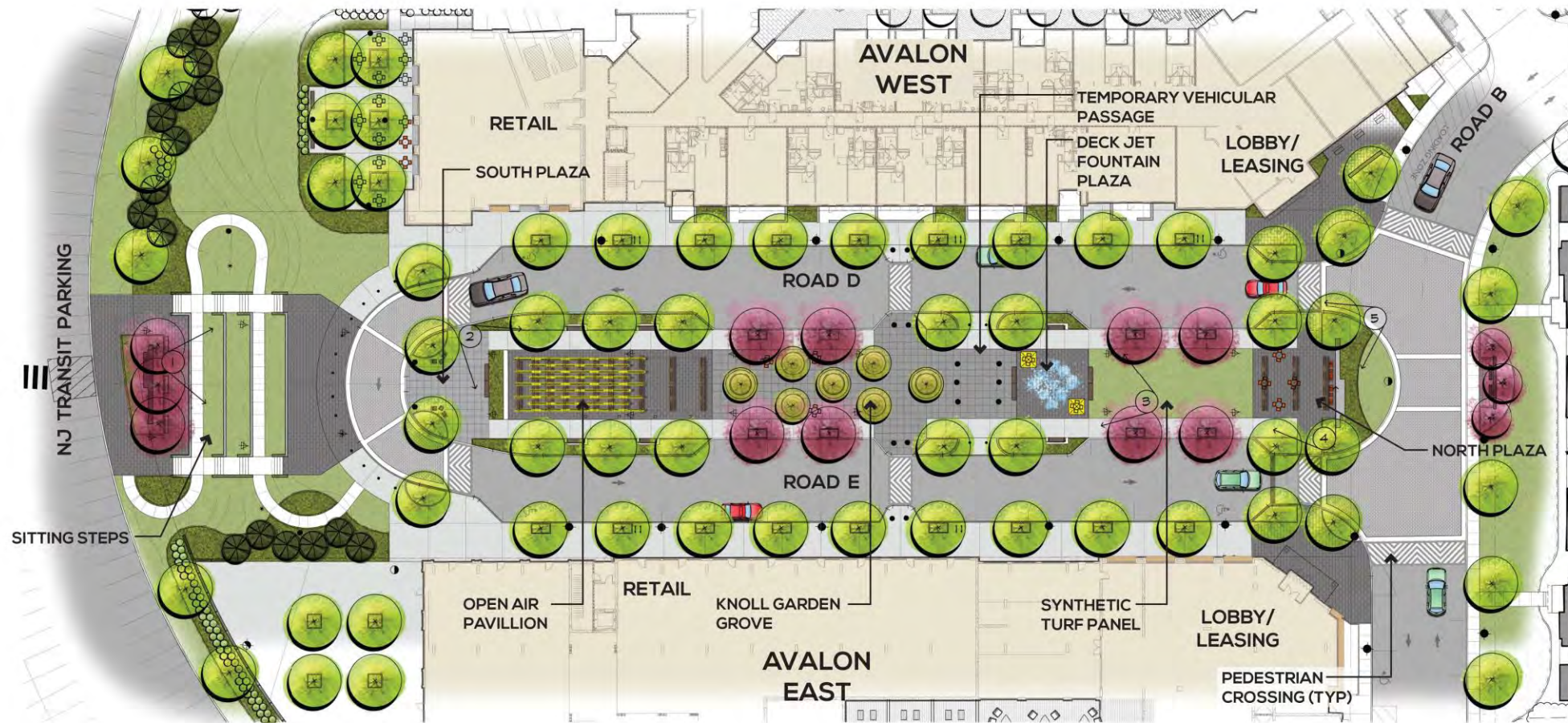


EXHIBIT A4 - PROMENADE ENLARGEMENT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1/16" = 1'-0"





KEY

 AVALON EAST/WEST



RENDERED SITE PLAN/SHADED
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'







KEY

 PULTE



RENDERED SITE PLAN/SHADED
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: 1" = 50'







KEY

 ATRIA



RENDERED SITE PLAN/SHADED
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: 1" = 50'







KEY

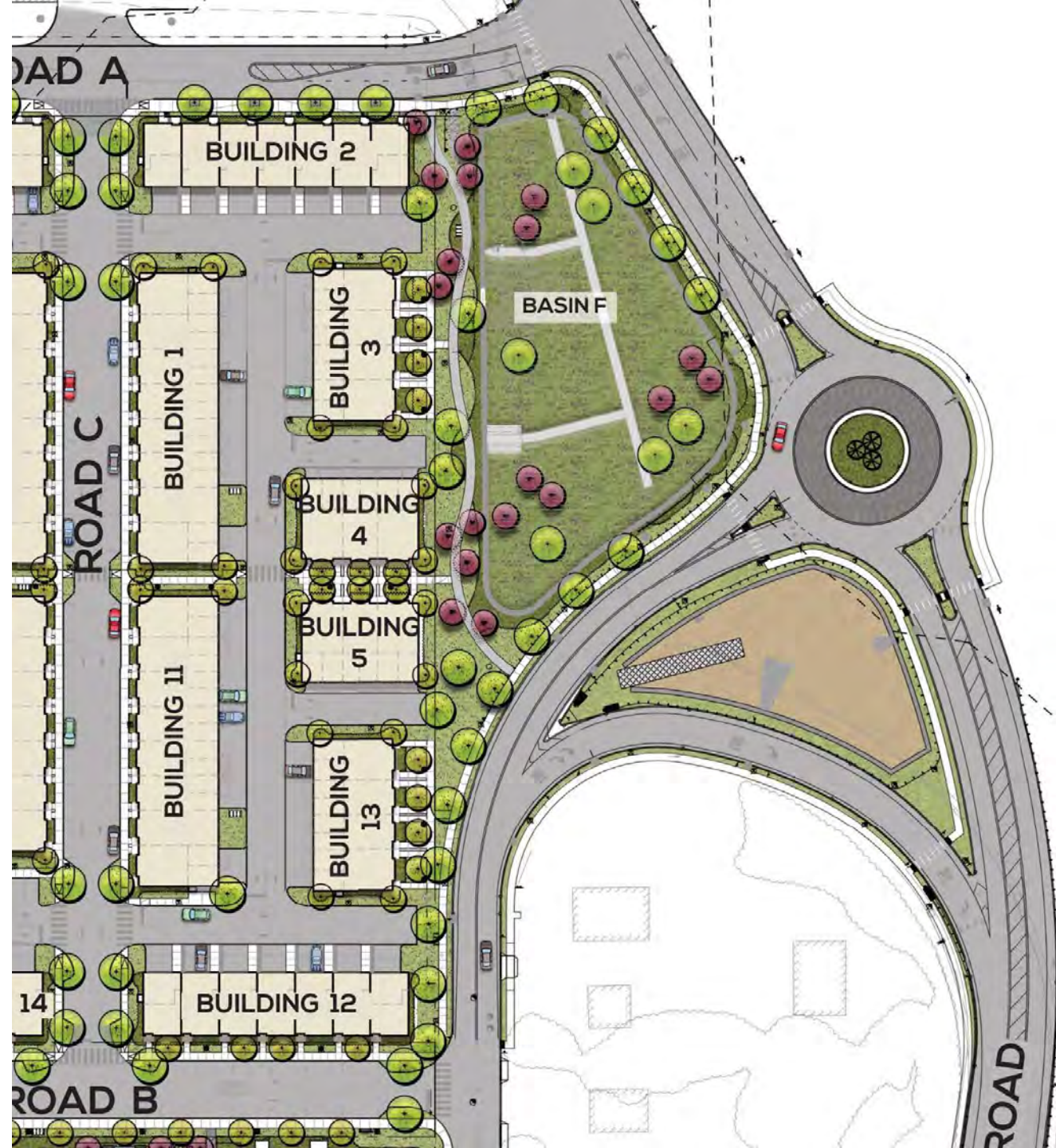
 WASHINGTON ROAD
RELOCATION/ROUNDBOUT



RENDERED SITE PLAN/SHADED
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
 WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: 1" = 50'







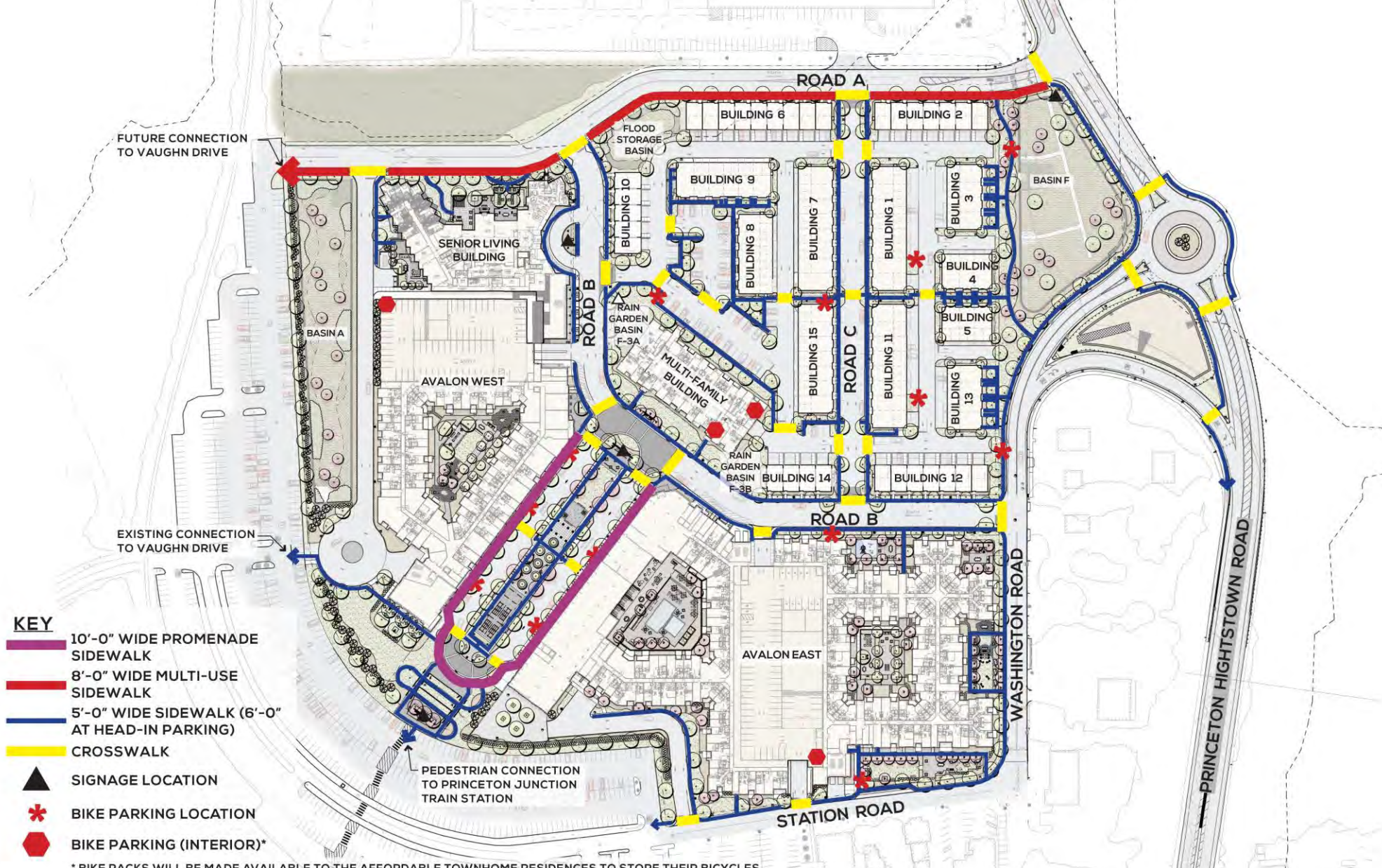
RENDERED SITE PLAN
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'



Total parking provided

Garage Parking (East)	495
Garage Parking (West)	309
Condominium Garage Parking	50
On Street parking (Roads B, C and D)	116
Off Street parking (surface lots)	67
Garage and DWY Parking (townhome)	252
Total provided for project	1289

Use	Required by Ordinance*	Calculation	Provided	Location
Multi-family residential	1.4375 per unit (off-street)	1.4375x535=769	228	West Garage (of 309, rest is dedicated to Atria)
			493	East Garage including 58 shared spaces with retail (of 495 minus 2 car share services)
			38	Road D (on-street shared parking)
			48	Road B (on-street shared parking)
			807	Total
Condominium	1.4375 per unit (off-street)	1.4375x48=69	50	at grade parking inside of building
			19	in surface lot in the rear of condo building of 21
			69	Total
Townhomes	2 per unit (off-street)	2x150=300	252.5 (252)	in garages and driveways
			48	in surface lots (includes 2 near condo building)
			30	Road C (on-street)
			330	Total
Assisted Living	0.5 space per unit (*this use per RSIS)	0.5x135=67.5, say 68	81	in west garage dedicated to AL use (of 309 in West Garage)
Non Residential (Retail)	1 space per 1,000 sf 21,211 sf non-residential	sf/1,000=21.2 say 22	21,211	
			38	Road D (on-street shared parking)
			48	Road B (on-street shared parking)
			58	East Garage 58 shared spaces with residential
			144	Total available
Total Required		1,228		



CIRCULATION EXHIBIT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'



Princeton Junction Train Station Redevelopment

AvalonBay/Retail Architecture



KEY

 AVALON EAST/WEST



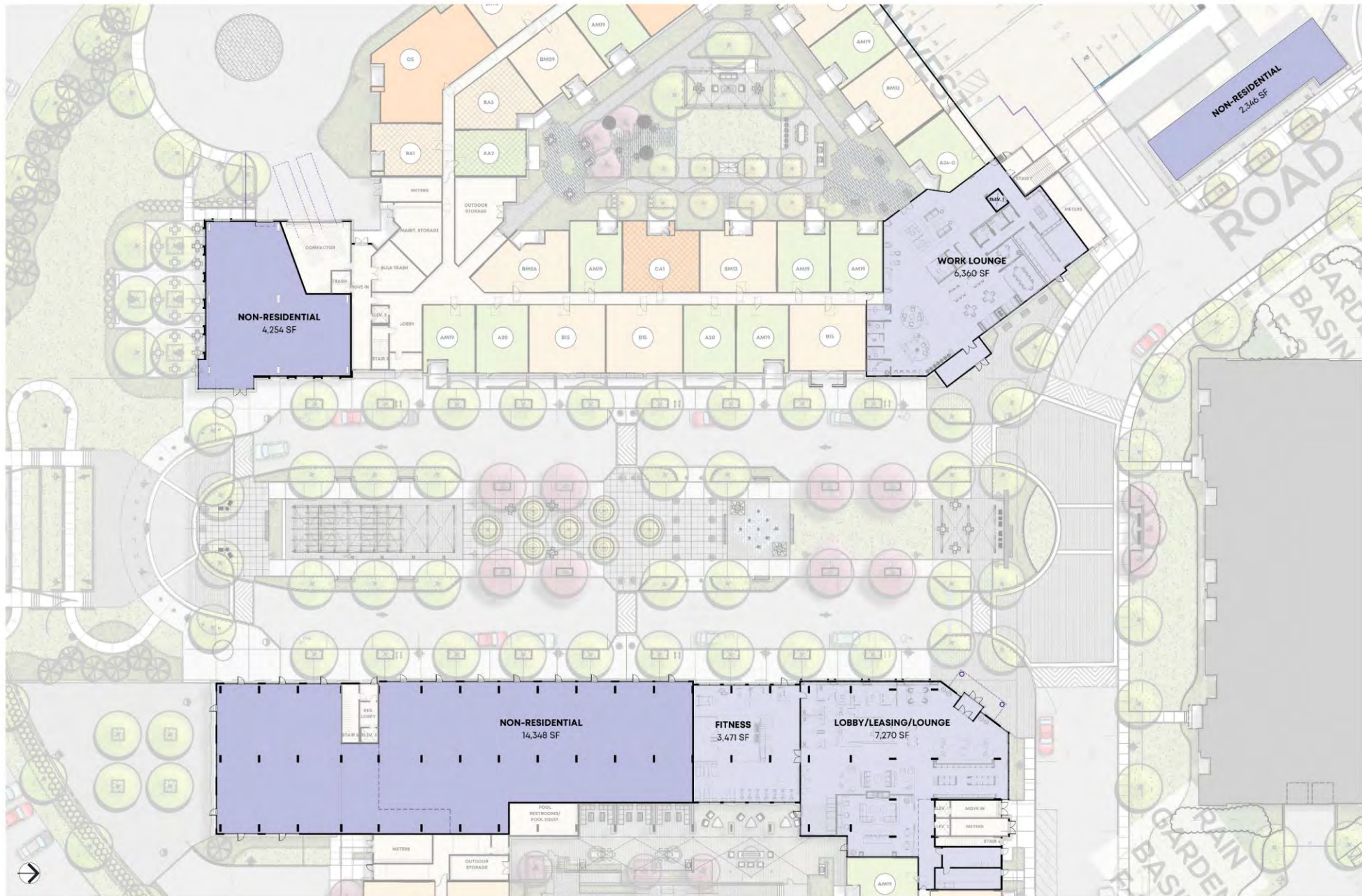
RENDERED SITE PLAN/SHADED
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: 1" = 50'













Princeton Junction Train Station Redevelopment

Pulte Architecture



KEY

 PULTE



RENDERED SITE PLAN/SHADED
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: 1" = 50'







01 - FRONT ELEVATION (MAIN ENTRY)

SCALE: 1/8" = 1'-0"



02 - SIDE ELEVATION (GARAGE ENTRY)

SCALE: 1/8" = 1'-0"

A-4

REV: 07/23/2021 REVISED PER 4TH TOWNSHIP REVIEW
 CONCEPT BUILDING ELEVATIONS - 48 DU MULTI-FAMILY BUILDING
 DATE: 04/23/2021



03 - REAR ELEVATION

SCALE: 1/8" = 1'-0"



04 - SIDE ELEVATION

SCALE: 1/8" = 1'-0"

A-5

REV: 07/23/2021 REVISED PER 4TH TOWNSHIP REVIEW
 CONCEPT BUILDING ELEVATIONS - 48 DU MULTI-FAMILY BUILDING
 DATE: 04/23/2021



JAYTON

01 - FRONT ELEVATION (MAIN ENTRY)

SCALE: 1/8" = 1'-0"



02 - HIGH VISIBILITY ENDS

SCALE: 1/8" = 1'-0"

CONCEPT BUILDING ELEVATIONS - TYPICAL TRADITIONAL TOWNHOMES

A-7

BUILDING: 10
REV: 04/23/2021
DATE: 02/26/2021



03 - REAR ELEVATION (GARAGE)

SCALE: 1/8" = 1'-0"



04 - HIGH VISIBILITY ENDS

SCALE: 1/8" = 1'-0"

CONCEPT BUILDING ELEVATIONS - TYPICAL TRADITIONAL TOWNHOMES

A-8

BUILDING: 10
REV: 04/23/2021
DATE: 02/26/2021



01 - FRONT ELEVATION (MAIN ENTRY)

SCALE: 1/8" = 1'-0"



02 - HIGH VISIBILITY ENDS

SCALE: 1/8" = 1'-0"

CONCEPT BUILDING ELEVATIONS - TYPICAL STACKED TOWNHOMES

A-12

BUILDINGS: 3-5, 8 & 13
 REV: 04/23/2021
 DATE: 02/26/2021



03 - REAR ELEVATION (GARAGE)

SCALE: 1/8" = 1'-0"



04 - HIGH VISIBILITY ENDS

SCALE: 1/8" = 1'-0"

A-13
 BUILDINGS: 3-5, 8 & 13
 REV: 04/23/2021
 CONCEPT BUILDING ELEVATIONS - TYPICAL STACKED TOWNHOMES
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY
 DATE: 02/26/2021



A-14

BUILDINGS: 9

CONCEPT BUILDING ELEVATIONS - TYPICAL STACKED TOWNHOMES

DATE: 08/16/2021



03 - REAR ELEVATION (GARAGE)
SCALE: 1/8" = 1'-0"



04 - HIGH VISIBILITY ENDS
SCALE: 1/8" = 1'-0"

A-15

BUILDINGS: 9

CONCEPT BUILDING ELEVATIONS - TYPICAL STACKED TOWNHOMES

DATE: 08/16/2021

Princeton Junction Train Station Redevelopment

Atria Architecture



KEY

 ATRIA



RENDERED SITE PLAN/SHADED
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

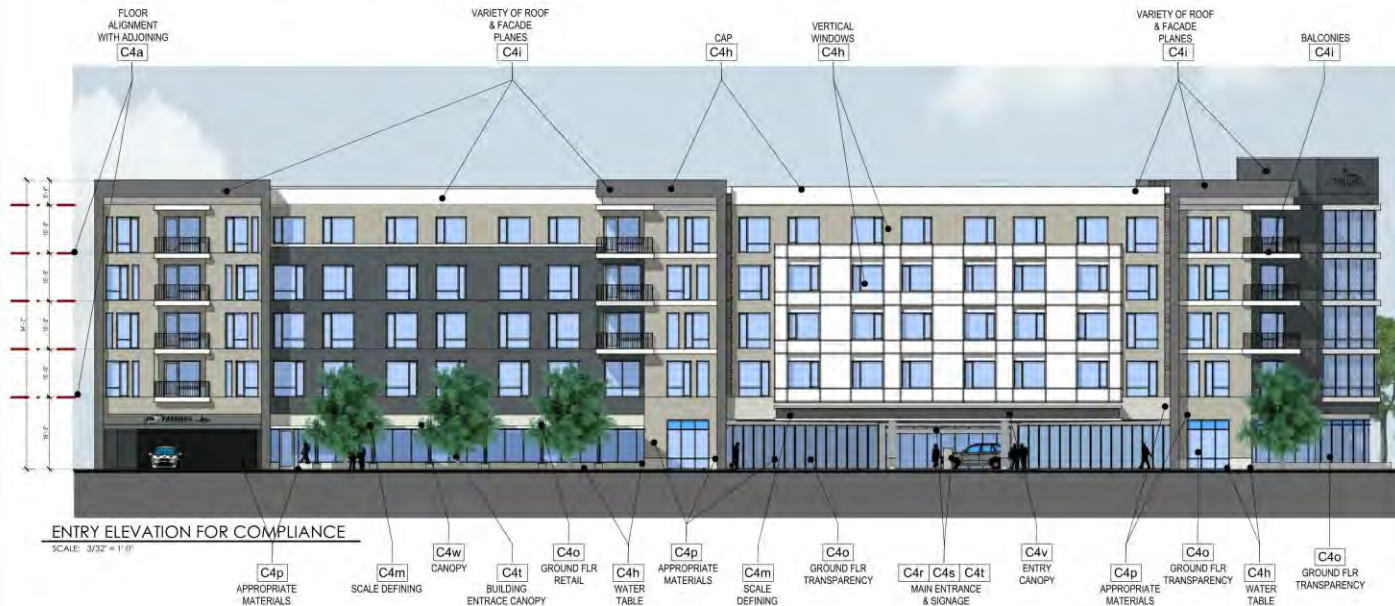
DATE: 2021-08-25 SCALE: 1" = 50'







3D VIEW OF ENTRY ELEVATION

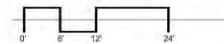


ENTRY ELEVATION FOR COMPLIANCE

SCALE: 3/32" = 1'-0"

- C4p APPROPRIATE MATERIALS
- C4m SCALE DEFINING
- C4w CANOPY
- C4i BUILDING ENTRANCE CANOPY
- C4o GROUND FLR RETAIL
- C4h WATER TABLE
- C4p APPROPRIATE MATERIALS
- C4m SCALE DEFINING
- C4o GROUND FLR TRANSPARENCY
- C4r | C4s | C4t MAIN ENTRANCE & SIGNAGE
- C4v ENTRY CANOPY
- C4p APPROPRIATE MATERIALS
- C4o GROUND FLR TRANSPARENCY
- C4h WATER TABLE
- C4o GROUND FLR TRANSPARENCY

ENTRY ELEVATION COMPLIANCE



RP-1 DISTRICT USE REGULATIONS - ORIENTATION, MASSING AND FACADES

- C4a (A) NEW BUILDINGS WITHIN THE DISTRICT SHOULD BE CONSIDERED AN INTEGRAL PART OF THE OVERALL SITE DESIGN AND DEVELOPED WITH APPROPRIATE CONSIDERATION FOR PROPOSED AND EXISTING BUILDINGS WITH RESPECT TO HEIGHT, MASS, SITING, LOCATION, MATERIALS, ORIENTATION, SIGNS, LIGHTING AND USE.
- C4b (B) BUILDINGS SHALL FRONT ON THE PROMENADE AND PUBLIC STREETS TO PROVIDE FORM AND FUNCTION TO THE STREETScape. THE STREETScape SHOULD BE CONTINUOUS AND VARIED THROUGH THE USE OF STREET FURNITURE, LANDSCAPE, BUILDING ARTICULATION, BUILDING FRONTAGE SETBACKS AND CHANGES IN SIDEWALK TYPES AND TEXTURES. DRIVERWAY INTERSECTIONS WITH THE PUBLIC STREETS SHOULD BE MINIMIZED TO AVOID EXCESSIVE INTERRUPTIONS IN THE STREETWALL.
- C4c (C) BUILDINGS SHALL BE DESIGNED TO PRESENT AN ARTICULATED FACADE FROM ALL VANTAGE POINTS. PARKING STRUCTURES SHALL NOT FRONT ON THE PROMENADE. PARKING STRUCTURES OR THAT PORTION OF THE BUILDING CONTAINING A PARKING STRUCTURE THAT IS NOT FRONTING ON THE PROMENADE MAY HAVE AN EXTERIOR CLAD IN A VINE-COVERED TRELLIS, GRAPHIC PANELS, SOLAR PANELS, A WINDOW-LIKE FACADE TREATMENT, LINER BURNER BUILDINGS OR GROUND FLOOR SPACE ALONG THE SIDEWALK DESIGNED SAS RETAIL, COMMERCIAL, RESIDENTIAL OR OFFICE SPACE.
- C4d (D) THE ARCHITECTURAL TREATMENT OF THE FRONT FACADE SHALL BE CONTINUED IN ITS MAJOR FEATURES AROUND ALL VISIBLY EXPOSED SIDES OF A BUILDING WITH THE EXCEPTION OF PARKING STRUCTURE OR THAT PORTION OF A BUILDING CONTAINING A PARKING STRUCTURE. ALL SIDES OF A BUILDING SHALL BE ARCHITECTURALLY DESIGNED TO BE CONSISTENT WITH REGARD TO STYLE, MATERIALS, COLORS, AND DETAILS. BLANK WALL OR SERVICE AREA TREATMENT OF SIDE AND/OR REAR ELEVATIONS VISIBLY FROM PUBLIC VIEW SHALL BE AVOIDED.
- C4e (E) UNLESS THE REDEVELOPER PROPOSES A SPECIFIC USE THAT REQUIRES A UNIQUE BUILDING, SUCH AS A HOTEL, BUILDINGS SHOULD BE DESIGNED UTILIZING BASE, MIDDLE AND TOP FORMS AS THE PRIMARY METHOD RELATING BUILDING TO EACH OTHER.
- C4f (F) THE BASE SHALL BE CONSIDERED THE FIRST STORY OF THE FACADE FACING A PUBLIC STREET, DEPENDING ON THE OVERALL HEIGHT OF THE BUILDING. THE DESIGN OF THE BASE, AS WELL AS THE QUALITY AND DURABILITY OF ITS MATERIALS, SHOULD BE EMPHASIZED TO CREATE VISUAL INTEREST AND SUPPORT PEDESTRIAN ACTIVITY. THE BUILDING'S BASE SHOULD BE PRESENTED TO THE PLANNING BOARD AT A LARGER SCALE OF DRAWING AND GREATER DETAIL THAN THE REMAINDER OF THE FACADE TO ENSURE IT MEETS THE BUILDING DESIGN OBJECTIVES.
- C4g (G) IN ADDITION TO THE BASE, THE EXTERIOR DESIGN OF MIXED-USE RESIDENTIAL BUILDINGS SHALL INCLUDE A MIDDLE FIELD SECTION AND A CAP ON THE TOP. THE MIDDLE OF THE BUILDING SHALL BE DIFFERENTIATED FROM THE BASE BY HORIZONTAL TRANSITION LINE. A HORIZONTAL TRANSITION LINE SHOULD ALSO BE ESTABLISHED SEPARATING THE MIDDLE FIELD FROM THE CAP OR TOP OF THE BUILDINGS.
- C4h (H) THE BASE TRANSITION LINE SHOULD GENERALLY BE DEFINED AT THE WATER TABLE, SILL OF THE GROUND FLOOR WINDOWS OR TOP OF THE GROUND FLOOR. THE UPPER TRANSITION LINE ARTICULATING THE CAP SHOULD GENERALLY BE DEFINED BY A CORNICE, PROJECTING OVERHAND OR OTHER APPROPRIATE MEANS OF THAT DEFINES THE CAP OF THE BUILDING.
- C4i (I) BUILDING EXTERIORS SHALL HAVE VERTICAL AND/OR HORIZONTAL OFFSETS TO CREATE VISUAL BREAKS ON THE EXTERIOR. LONG, MONOTONOUS, UNINTERRUPTED WALLS OR ROOF PLANES SHALL BE AVOIDED. BUILDING WALL OFFSETS, INCLUDING PROJECTIONS SUCH AS BALCONIES, CANOPIES, AWNINGS, AND SIGNS, RECESSES, AND CHANGES IN FLOOR LEVEL SHALL BE USED IN ORDER TO ADD ARCHITECTURAL INTEREST AND VARIETY AND TO RELIEVE THE VISUAL EFFECT OF A SIMPLE, LONG WALL. SIMILARLY, ROOFLINE OFFSET, DORMERS, OR GABLES SHALL BE PROVIDED IN ORDER TO PROVIDE ARCHITECTURAL INTEREST AND VARIETY OF THE MASSING OF A BUILDING AND TO RELIEVE THE EFFECT OF A SINGLE, LONG ROOF.
- C4l (L) BLANK WALLS MUST CONTAIN ARCHITECTURAL RELIEF SUCH AS EXPRESSIVE DETAILS, BLIND WINDOWS, MURALS, ETC.
- C4m (M) ALL BUILDINGS SHALL PROVIDE SCALE-DEFINING ARCHITECTURAL ELEMENTS OR DETAILS AT THE FIRST TWO FLOOR LEVELS MINIMUM, SUCH AS WINDOWS, SPANDRELS, AWNINGS, PORTICOES, PEDIMENTS, CORNICES, PILASTERS, COLUMNS AND BALCONIES.
- C4n (N) WINDOWS FOR RESIDENTIAL BUILDINGS SHALL PRIMARILY BE VERTICALLY PROPORTIONED. TINTED AND HIGHLY REFLECTIVE GLASS ARE DISCOURAGED.
- C4o (O) GROUND-FLOOR RETAIL, SERVICES, AND RESTAURANT USES SHALL HAVE LARGE TRANSPARENT WINDOWS. SUCH WINDOWS SHALL BE FRAMED BY THE SURROUNDING WALL AND SHALL BE A MINIMUM OF 75% OF THE TOTAL GROUND-LEVEL FACADE AREA ADJOINING THE SIDE WALK. THE WINDOW WALL FACADE AREA MAY BE REDUCED IF, DUE TO A PARTICULAR USE OR SETTINGS, THE PROVISION OF WINDOWS WILL PRESENT CONCERNS FOR AESTHETIC DESIGN OR SECURITY. HOWEVER, THE FACADE DESIGN SHOULD EMPLOY AN ARRANGEMENT OF MATERIALS THAT REFLECTS THE REQUIRED WINDOW AREA AND/OR LINES TO BE COMPATIBLE WITH THE INTENT OF THESE GUIDELINES.
- C4p (P) THE PREDOMINANT MATERIAL OF ALL STREET WALLS ON PRIMARY AND SECONDARY STREETS SHALL BE BRICK, PRECAST, CEMENT-BOARD SIDING, WOOD, METAL STOREFRONT, TILE, STONE, STONE VENEER, RESIN PANELS, COMPOSITE, METAL PANELS AND FINISHED MASONRY BLOCK OR CURTAIN WALL. STUCCO MAY BE USED AS AN ACCENT. ALL MATERIALS, COLORS AND ELEVATIONS SHALL BE APPROVED BY THE PLANNING BOARD.
- C4q (Q) SHOP FRONTS MAY HAVE A KICKPLATE THAT RANGES IN HEIGHT FROM 8 INCHES TO 42 INCHES RUNNING CONTINUOUSLY BENEATH THE REQUIRED FENESTRATION.
- C4r (R) PUBLIC ACCESS TO COMMERCIAL AND GOVERNMENTAL BUILDINGS SHALL BE PROVIDED AT SIDE WALK GRADE. THE PRIMARY FLOOR OF AND ACCESS TO RESIDENTIAL STRUCTURES MAY BE ELEVATED.
- C4s (S) THE FRONT DOORS OF ALL BUILDINGS SHALL BE VISIBLE FROM THE STREET UNLESS FRONTING ON A COURTYARD, MEWS, OR OTHER OPEN SPACE IF LOCATED MORE THAN 10 FEET FROM THE FRONT BUILDING LINE. THEIR LOCATION MUST BE REINFORCED WITH ADDITIONAL GRAPHICS, SIGNAGE, LIGHTING, MARQUEES OR CANOPIES.
- C4t (T) ALL ENTRANCES TO A BUILDING, EXCEPT SERVICE AND EMERGENCY EGRESS DOORS, SHALL BE DEFINED AND ARTICULATED BY ARCHITECTURAL ELEMENTS SUCH AS LINTELS, PEDIMENTS, PILASTERS, COLUMNS, PORTICOES, PORCHES, OVERHANGS, RAILINGS, BALUSTRADES, CANOPIES, AWNINGS, AND OTHER ELEMENTS. WHERE APPROPRIATE, ANY SUCH ELEMENT UTILIZED INCLUDING DOORS, SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE STYLE, MATERIALS, COLORS AND DETAILS OF THE BUILDING AS A WHOLE. THE MAIN ENTRANCE SHALL FACE THE STREET ON WHICH THE PROPERTY FRONTS.
- C4u (U) AWNINGS, WHICH ADD VISUAL RICHNESS TO THE COMMERCIAL CORRIDOR WHILE ENHANCING THE QUALITY OF PUBLIC WALKWAYS, ARE ENCOURAGED FOR ALL STOREFRONTS. AWNINGS SHALL HAVE FIXED OR RETRACTABLE METAL FRAMEWORK.
- C4v (V) CANOPIES, UNLIKE AWNINGS, ARE NONRETRACTABLE. THEY SHALL BE CONSTRUCTED OF WOOD OR METAL FRAMING, STANDING SEAM METAL ROOF OR GLASS ROOF AS SOLID CANOPIES OR SEMI-OPEN TRELLISES. CANOPIES MAY INCORPORATE SIGNAGE AND DOWNLIGHTING. SECURITY SHALL BE IMPLEMENTED SO THAT IT CANNOT BE SEEN AND SECURITY GRILLE HOUSING IS SPECIFICALLY PROHIBITED FOR FLAT SOLID PANEL CLAD CANOPIES. A MEMBRANE COULD BE USED IF CONCEALED FROM PEDESTRIAN VIEW.
- C4w (W) ALL AWNINGS AND CANOPIES SHALL BE SECURELY ATTACHED TO THE BUILDING SO THAT THE LOWEST PART OF THE AWNING OR CANOPY IS SECURED AT A MINIMUM OF EIGHT FEET ABOVE THE SIGNAGE AT THE STOREFRONT. AWNINGS AND CANOPIES MAY PROJECT OVER A SIDEWALK AND/OR IN THE PUBLIC RIGHT-OF-WAY.
- C4cc (CC) MECHANICAL EQUIPMENT LOCATED ON BUILDING ROOFS SHALL BE SCREENED SO AS NOT TO BE VISIBLE FROM THE GROUND LEVEL FROM ADJACENT DEVELOPMENTS AND FRONT PUBLIC STREETS.



3D VIEW OF COURTYARD



COURTYARD ELEVATION FOR COMPLIANCE

SCALE: 3/32" = 1'-0"

C4m SCALE DEFINING

C4p APPROPRIATE MATERIALS

C4i BUILDING ENTRANCE CANOPY

C4o GROUND FLR TRANSPARENCY

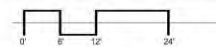
C4h WATER TABLE/PLANTERS

C4p APPROPRIATE MATERIALS

C4m SCALE DEFINING

C4o GROUND FLR TRANSPARENCY

C4p APPROPRIATE MATERIALS



RP-1 DISTRICT USE REGULATIONS - ORIENTATION, MASSING AND FACADES

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- C4n (N) WINDOWS FOR RESIDENTIAL BUILDINGS SHALL PRIMARILY BE VERTICALLY PROPORTIONED. TINTED AND HIGHLY REFLECTIVE GLASS ARE DISCOURAGED.
- C4o (O) GROUND-FLOOR RETAIL, SERVICES, AND RESTAURANT USES SHALL HAVE LARGE TRANSPARENT WINDOWS. SUCH WINDOWS SHALL BE FRAMED BY THE SURROUNDING WALL AND SHALL BE A MINIMUM OF 75% OF THE TOTAL GROUND-LEVEL FACADE AREA ADJOINING THE SIDE WALK. THE WINDOW WALL FACADE AREA MAY BE REDUCED IF, DUE TO A PARTICULAR USE OR SETTINGS, THE PROVISION OF WINDOWS WILL PRESENT CONCERNS FOR AESTHETIC DESIGN OR SECURITY. HOWEVER, THE FACADE DESIGN SHOULD EMPLOY AN ARRANGEMENT OF MATERIALS THAT REFLECTS THE REQUIRED WINDOW AREA AND/OR LINES TO BE COMPATIBLE WITH THE INTENT OF THESE GUIDELINES.
- C4p (P) THE PREDOMINANT MATERIAL OF ALL STREET WALLS ON PRIMARY AND SECONDARY STREETS SHALL BE BRICK, PRECAST, CEMENT-BOARD SIDING, WOOD, METAL STOREFRONT, TILE, STONE, STONE VENEER, RESIN PANELS, COMPOSITE, METAL PANELS AND FINISHED MASONRY BLOCK OR CURTAIN WALL. STUCCO MAY BE USED AS AN ACCENT. ALL MATERIALS, COLORS AND ELEVATIONS SHALL BE APPROVED BY THE PLANNING BOARD.
- C4q (Q) SHOP FRONTS MAY HAVE A KICKPLATE THAT RANGES IN HEIGHT FROM 8 INCHES TO 42 INCHES RUNNING CONTINUOUSLY BENEATH THE REQUIRED FENESTRATION.
- C4r (R) PUBLIC ACCESS TO COMMERCIAL AND GOVERNMENTAL BUILDINGS SHALL BE PROVIDED AT SIDE WALK GRADE. THE PRIMARY FLOOR OF AND ACCESS TO RESIDENTIAL STRUCTURES MAY BE ELEVATED.
- C4s (S) THE FRONT DOORS OF ALL BUILDINGS SHALL BE VISIBLE FROM THE STREET UNLESS FRONTING ON A COURTYARD, MEWS, OR OTHER OPEN SPACE. IF LOCATED MORE THAN 10 FEET FROM THE FRONT BUILDING LINE, THEIR LOCATION MUST BE REINFORCED WITH ADDITIONAL GRAPHICS, SIGNAGE, LIGHTING, MARQUEES OR CANOPIES.
- C4t (T) ALL ENTRANCES TO A BUILDING, EXCEPT SERVICE AND EMERGENCY EGRESS DOORS, SHALL BE DEFINED AND ARTICULATED BY ARCHITECTURAL ELEMENTS SUCH AS LINTELS, PEDIMENTS, PLASTER, COLUMNS, PORTICOES, PORCHES, OVERHANGS, RAILINGS, BALLUSTRADES, CANOPIES, AWNINGS, AND OTHER ELEMENTS. WHERE APPROPRIATE, ANY SUCH ELEMENT UTILIZED INCLUDING DOORS, SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE STYLE, MATERIALS, COLORS AND DETAILS OF THE BUILDING AS A WHOLE. THE MAIN ENTRANCE SHALL FACE THE STREET ON WHICH THE PROPERTY FRONTS.
- C4u (U) AWNINGS, WHICH ADD VISUAL RICHNESS TO THE COMMERCIAL CORRIDOR WHILE ENHANCING THE QUALITY OF PUBLIC WALKWAYS, ARE ENCOURAGED FOR ALL STOREFRONTS. AWNINGS SHALL HAVE FIXED OR RETRACTABLE METAL FRAMEWORK.
- C4v (V) CANOPIES, UNLIKE AWNINGS, ARE NONRETRACTABLE. THEY SHALL BE CONSTRUCTED OF WOOD OR METAL FRAMING, STANDING SEAM METAL ROOF OR GLASS ROOF AS SOLID CANOPIES OR SEMI-OPEN TRELLISES. CANOPIES MAY INCORPORATE SIGNAGE AND DOWNLIGHTING. SECURITY SHALL BE IMPLEMENTED SO THAT IT CANNOT BE SEEN AND SECURITY GRILLE HOUSING IS SPECIFICALLY PROHIBITED FOR FLAT SOLID PANEL CLAD CANOPIES. A MEMBRANE COULD BE USED IF CONCEALED FROM PEDESTRIAN VIEW.
- C4w (W) ALL AWNINGS AND CANOPIES SHALL BE SECURELY ATTACHED TO THE BUILDING SO THAT THE LOWEST PART OF THE AWNING OR CANOPY IS MOUNTED A MINIMUM OF EIGHT FEET ABOVE THE STOREFRONT. AWNINGS AND CANOPIES MAY PROJECT OVER A SIDEWALK AND/OR IN THE PUBLIC RIGHT-OF-WAY.
- C4cc (CC) MECHANICAL EQUIPMENT LOCATED ON BUILDING ROOFS SHALL BE SCREENED SO AS NOT TO BE VISIBLE FROM THE GROUND LEVEL FROM ADJACENT DEVELOPMENTS AND FRONT PUBLIC STREETS.



COURTYARD ELEVATION

MATERIAL LEGEND

Ma1	Ma2	CS1	Me1	Me2	Me3	St1	Pt1
<p>Grey Brick Location: Feature facade Running bond Monolithic image Matching mortar</p>	<p>Buff grey Brick Location: Main facade Running bond Monolithic image Matching mortar</p>	<p>Cast stone Location: Water table Generally 8' slabs Sand texture w pebbles Matching mortar</p>	<p>Metal Panels Location: Features Reveal joints Matte finish Matching sealant</p>	<p>Corrugated Metal Panels Location: Reveals/canopy Butt joints Matte finish Matching sealant</p>	<p>Bone metal panel Location: Main facade 2" firm at joints Monolithic image Matching sealant</p>	<p>Stucco/EIFS Location: Cap and balcony trim Sand texture finish Matching sealant</p>	<p>Paint Location: Mullion, canopy and handrail color Eggshell finish Matching sealant</p>

NOTE: Glazing anticipated to be clear Low-e w minimal tinting. Final design based on energy studies.



WEST WING ELEVATION

PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT

WEST WINDSOR, NEW JERSEY



LANDSCAPE ARCHITECTURE PRESENTATION



RENDERED SITE PLAN
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'





ATRIA COURTYARD CONTEXT EXHIBIT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'





ATRIA - NORTH COURTYARD
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.



ATRIA - WEST COURTYARD
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.



AVALON OVERALL COURTYARD CONTEXT EXHIBIT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'





**AVALON WEST
COURTYARD**



AVALON WEST COURTYARD CONTEXT EXHIBIT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'





AVALON WEST COURTYARD
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.



**AVALON EAST POOL
COURTYARD**



AVALON EAST COURTYARD CONTEXT EXHIBIT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'





AVALON EAST POOL COURTYARD
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.



**AVALON EAST CENTRAL
COURTYARD**



AVALON EAST COURTYARD CONTEXT EXHIBIT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'





AVALON EAST CENTRAL COURTYARD
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.



AVALON EAST COURTYARD CONTEXT EXHIBIT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'



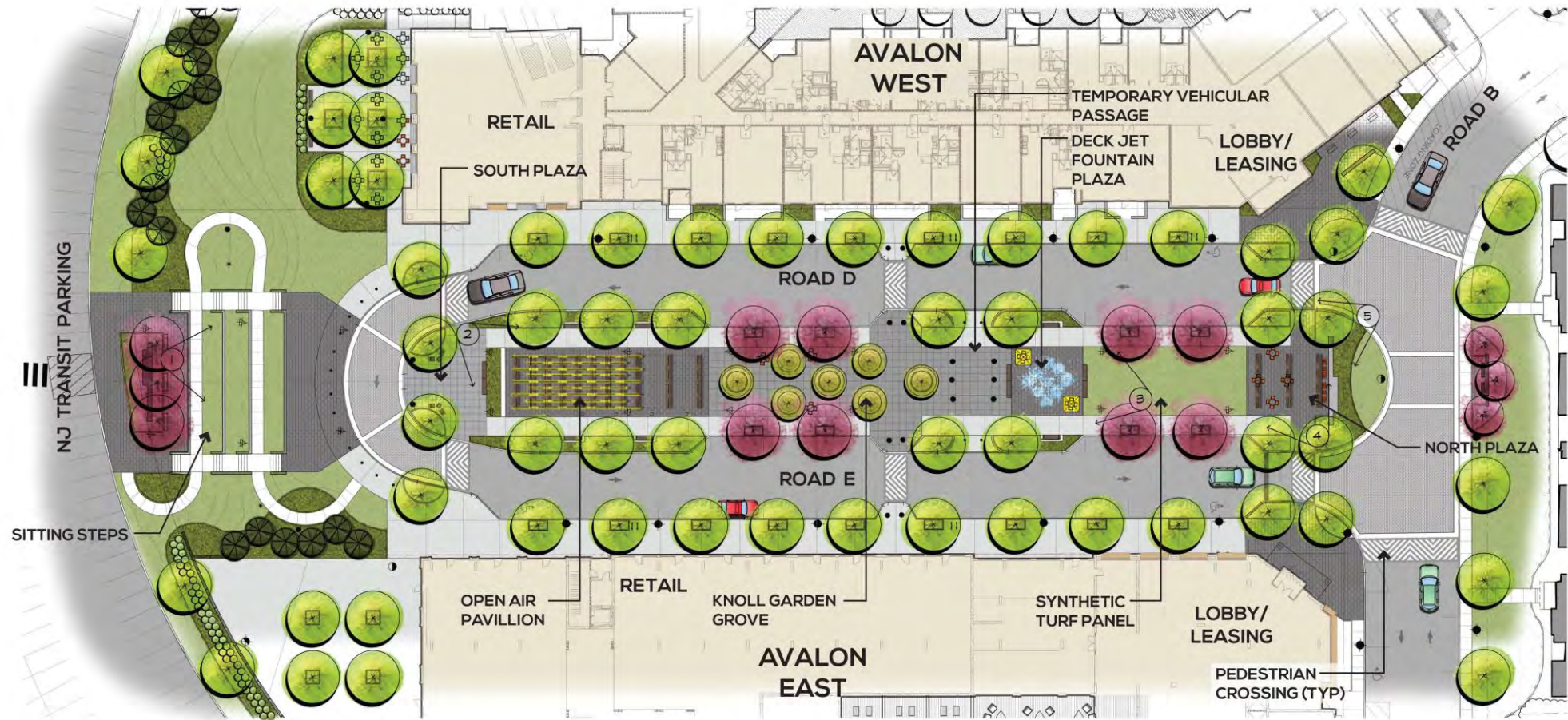


AVALON EAST OUTER COURTYARD
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

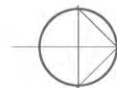
DATE: 2021-08-25 SCALE: N.T.S.



PROMENADE CONTEXT EXHIBIT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 50'



PROMENADE ENLARGEMENT
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1/16" = 1'-0"





PROMENADE VIEW #1
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.



PROMENADE VIEW #2
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.



PROMENADE VIEW #3
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.



PROMENADE VIEW #4

**PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY**

DATE: 2021-08-25 SCALE: N.T.S.



RAUSTER PICNIC TABLE
BY MMCITE



BRAVO BISTRO CAFE TABLE
BY LANDSCAPE FORMS



TYPE 1:



TYPE 2:



BANCAL BENCH
BY LANDSCAPE FORMS



PARC CENTRE LOUNGE CHAIR + OTTOMAN
BY LANDSCAPE FORMS



BOLLARD



LIGHT COLUMN



RIALTA FIXTURE
BY STERNBERG



MILLENNIA POST TOP FIXTURE
BY STERNBERG



PRINCETON JUNCTION LIGHT FIXTURE
GRAVILLE II BY HOLOPHANE LIGHTING



SITE FURNISHING AND LIGHTING GRAPHIC PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.



PROMENADE VIEW #5
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY

DATE: 2021-08-25 SCALE: N.T.S.

Princeton Junction Train Station Redevelopment

Traffic Engineering

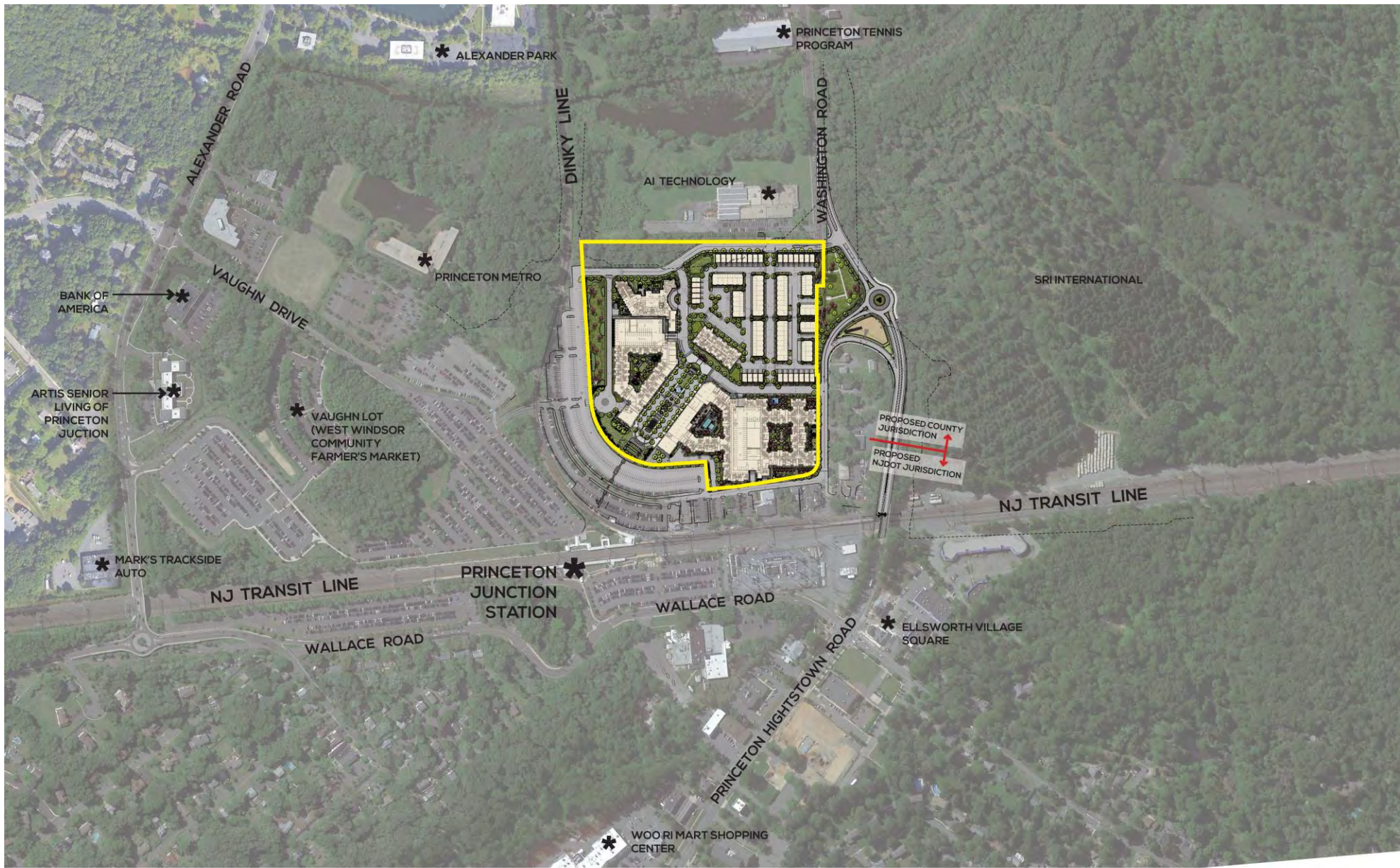


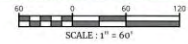
EXHIBIT A1.2 - PROPOSED CONDITIONS
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
 DATE: 2021-08-25 SCALE: 1" = 150'





RENDERED SITE PLAN
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
DATE: 2021-08-25 SCALE: 1" = 50'





LINE OF SIGHT - LOOKING LEFT



LINE OF SIGHT - LOOKING RIGHT





RENDERED SITE PLAN
PRINCETON JUNCTION TRAIN STATION REDEVELOPMENT
WEST WINDSOR, NEW JERSEY
DATE: 2021-08-25 SCALE: 1" = 50'