

Thomas M. Letizia
thomas.letizia@troutman.com

February 23, 2021

VIA HAND DELIVERY

Mr. Samuel J. Surtees
Manager, Division of Land Use
West Windsor Township
271 Clarksville Road
Princeton Junction, New Jersey 08550

RE: PB 20-11
Application of Teachers Insurance and Annuity Association
for the Benefit of its Separate Real Estate Account
Block 7.15, Lot 14.04; 3535 Route 1
Minor Site Plan with Waivers for Outdoor Patios at MarketFair

Dear Mr. Surtees:

In connection with the above-referenced pending application, please be advised that the Applicant has decided to remove some of the existing impervious pavement at the MarketFair Center in order to offset the additional coverage proposed for the new patio areas. This will be accomplished by shortening the length of some parking spaces to the length of compact parking spaces as detailed on the enclosed revised plans. This change eliminates the need for a maximum improvement coverage variance and thus the request for same is hereby withdrawn.

In addition, as discussed at the Technical Review Committee (TRC) meeting on January 14, 2021, the Applicant amends its application to include a waiver from Section 200-36.1 which requires the patio areas to be composed of pervious materials.

Accordingly, enclosed please find the following materials in response to your January 14, 2021 letter in support of MarketFair's application for additional patio spaces:

1. Eighteen (18) copies of this letter;
2. Eighteen (18) copies of my October 16, 2020 letter to you;
3. Eighteen (18) copies of the completed Development Application Form;
4. Eighteen (18) copies of the September 18, 2020 letter from Nuveen confirming that CBRE, Inc. is the authorized agent for land use, zoning and building permit matters for MarketFair;
5. Eighteen (18) copies of the completed Site Plan Checklist with waiver request;

6. Eighteen (18) copies of the Drainage Statement prepared by Princeton Junction Engineering, PC;
7. Eighteen (18) sets (four (4) full size and fourteen (14) half size) of minor site plans prepared by Princeton Junction Engineering, PC, dated October 15, 2020, revised February 17, 2021;
8. Eighteen (18) sets (four (4) full size and fourteen (14) half size) of plans of the three proposed patio extension areas prepared by Bergmann, dated October 14, 2020, revised February 19, 2021; and
9. Eighteen (18) sets (four (4) full size and fourteen (14) half size) copies of plans prepared by Urban Tectonics LLC, last revised December 18, 2020, showing additional details for the Tommy's Tavern + Tap patio addition.

Should you have any questions or require additional information, please do not hesitate to contact this office. Thank you for your assistance.

Very truly yours,



THOMAS M. LETIZIA

TML/sf
Enclosures

cc: CBRE, Inc. (letter only/via email)
Princeton Junction Engineering PC (letter only/via email)
Bergmann (letter only/via email)

Thomas M. Letizia
thomas.letizia@troutman.com

October 16, 2020

HAND DELIVERY

Mr. Samuel J. Surtees
Manager, Division of Land Use
West Windsor Township
271 Clarksville Road
Princeton Junction, New Jersey 08550

**RE: Application of Teachers Insurance and Annuity Association,
for the Benefit of its Separate Real Estate Account
Block 7.15, Lot 14.04; 3535 Route 1
Minor Site Plan with Lot Coverage Variance for Patios for Market Fair**

Dear Mr. Surtees:

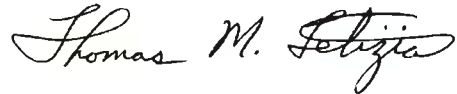
Enclosed please find the following materials of Teachers Insurance and Annuity Association for the Benefit of its Separate Real Estate Account ("TIAA") in support of an application for minor site plan with a variance for lot coverage in connection with its proposal for minor site improvements including additional patio areas at Market Fair:

1. Completed Development Application Form, Variance Application Form and addendum;
2. September 18, 2020 letter from Nuveen confirming that CBRE, Inc. is the authorized agent for land use, zoning and building permit matters for Market Fair. Nuveen is owned by TIAA and manages its real estate;
3. Completed Site Plan Checklist with waiver request;
4. Drainage Statement of Princeton Junction Engineering, PC dated October 15, 2020; and
5. Plans prepared by Princeton Junction Engineering, PC dated October 15, 2020.

Patio detail plans of the three proposed patio extension areas prepared by Bergmann dated October 2020 are being hand delivered to you today by NJ Legal.

Should you have any questions or require additional information, please do not hesitate to contact this office. Thank you for your assistance.

Very truly yours,



THOMAS M. LETIZIA

TML/sf

Enclosures

cc: CBRE, Inc. (via email/without plans)
Princeton Junction Engineering PC (via email/without plans)
Bergmann (via email/without plans)

DEVELOPMENT APPLICATION

CONTROL NO. PB-20-11

Block(s) 7.15 Lot(s) 14.04 Date Received _____
By _____

TO BE COMPLETED BY APPLICANT (A-T)

A. Property Owner's Name Teachers Insurance and Annuity Association, for the Benefit of its Separate Real Estate Account

Address c/o CBRE, Inc., its authorized agent
3535 US Route 1 (Street) Princeton NJ 08540
(City) (State) (Zip)

Phone (609) 452-7777 x 225
(If property owner is a corporation, complete Section S-1)

FAX (609) 452-8994

B. Applicant's Agent Name Thomas M. Letizia, Esq. , Troutman Pepper Hamilton Sanders LLP

Address 301 Carnegie Center, Suite 400
(Street)
Princeton NJ 08540-6227
(City) (State) (Zip)

Phone (609) 951-4136

FAX (609) 452-1147

(If applicant is not the owner, complete Section S-2)
(If applicant is a corporation, complete Section S-3)
(All correspondence will be mailed to person listed as applicant's agent)

C. Application Status

(1) New (2) Revision or Resubmission of Prior Application

(If (2) is checked, indicate prior application no. (s) _____)
Attach copies of resolution, if available.

D. Type of Approval Sought

- Concept Preliminary Final Preliminary/Final
 GDP Sign Waiver Request Extension of Approval Request
 Minor Subdivision Major Subdivision Major Site Plan Minor Site Plan
 Variance Request (Submit Variance Request Form)
 Conditional Use Approval (Submit Conditional Use Request Form)
 Request for Waiver of Submission Requirements (See appropriate subdivision or Site Plan checklist)
 Above Application Pursuant to Board of Adjustment "D" Variance
(Attach Resolution of Approval)

E. Engineer's Name and Firm Kevin Brakel, PE - Princeton Junction Engineering, PC

Address PO Box 610
Princeton Junction (Street) NJ 08550
(City) (State) (Zip)
Phone (609) 799-1906 x 16
FAX (609) 799-1542 E-MAIL kbrakel@pjepc.com
License No. 44194

F. Architect's Name and Firm Frank Russo, AIA Bergmann PC

Address 1524 Delancey Street
Philadelphia (Street) PA 19102
(City) (State) (Zip)
Phone (215) 391-4196
FAX () None E-MAIL frusso@bergmannpc.com
License No. 21AI020555000

G. Plat/Plan Dated _____ Title _____

H. Name and Location of Development (Street or Road and nearest public Street intersection)

3535 US Route 1 (Rt. 1 and Meadow Road)

Planned Commercial Development (PCD)

I. Present use of Land

PCD - retail center

J. Present Use of Structure

PCD

K. Proposed Use of Land

(If more than one use proposed, indicate various uses and areas on plat)

L. Proposed Use of Structure

PCD - retail center - new patio areas

(If more than one use proposed, indicate various uses and areas on plan)

M. Plat/Plan Data

1. Acreage to be subdivided NA No. of Lots Proposed NA

2. Type of Development Proposed (Conventional, Cluster, Planned Development)

PCD (existing)

3. Lot Areas NA

4. Acreage of Contiguous Parcel (s) in Same Ownership, not part of this Development 0

5. Area of Site Plan to be Developed _____ Acres _____ SF

6. Floor Area of Proposed Structure: NA - already developed

Floor No.	_____	_____	SF
Floor No.	_____	_____	SF
Floor No.	_____	_____	SF
Floor No.	_____	_____	SF

7. If Addition to Existing Structure: NA

Floor No. _____ SF
Floor No. _____ SF
Floor No. _____ SF

8. Total Floor Areas NA SF

9. Number of Parking Spaces NA

N. Utility Data (indicate service proposed) NA

1. Water _____ 4. Electric _____
2. Sanitary _____ 5. Telephone _____
3. Gas _____ 6. Heating Fuel _____

O. Zoning District B-2 (Planned Commercial Development)

P.	Zone Requirements	(Ordinance)	(Proposed)
1.	Min. Tract/Lot Area	<u>3 Acres</u>	<u>27.54</u>
2.	Min. Lot frontage	<u>250 ft.</u>	<u>924</u>
3.	Min. Lot Width	<u>250 ft.</u>	<u>680</u>
4.	Min. Lot Depth	<u>200 ft.</u>	<u>600+</u>
5.	Min. Yards:		
	Front	<u>50 ft.</u>	<u>127</u>
	Side	<u>15 ft.</u>	<u>83</u>
	Rear	<u>15 ft.</u>	<u>34</u>
6.	Max F.A.R.	<u>0.22/0.25</u>	<u>NA</u>
7.	Max M.I.C.	<u>60%</u>	<u>78.9</u>
8.	Max. Gross Density	<u>NA</u>	<u>NA</u>
9.	Max. Bldg. Height	<u>3 ST/45 ft.</u>	<u>1 ST</u>
10.	Parking Spaces Required	<u>NA</u>	<u>NA</u>

Q. Does Lot abut (check which applies)
X State Road _____ County Road X Township Road

R. Copies of any Deed Restrictions or Covenants that will Apply (check one)
_____ Attached X Not Attached

No new restrictions or covenants proposed

S. Other Information

1. Principal Office Address _____

(City) (State) (Zip) (Street) Phone(_____) FAX (_____) _____

President's Name _____

Secretary's Name _____

2. I, _____, consent to the filing of this Site Plan/
Subdivision by _____
(Agent)

(Owner's Signature) (Date)

(Owner's Printed Name)

3. Principal Office Address 730 Third Avenue

(Street)
New York NY 10017 Phone (212) 916-6469
(City) (State) (Zip) FAX () _____

T. _____
(Applicant's Signature) (Date)

Teachers Insurance and Annuity Association,
for the Benefit of its Separate Real Estate Account
(Applicant's Printed Name)

By: CBRE, Inc., Agent

By: Richard Kenwood, General Manager, MarketFair

September 18, 2020

Mr. Samuel J. Surtees
Manager, Division of Land Use
West Windsor Township
271 Clarksville Road
Princeton Junction, New Jersey 08550

RE: MARKETFAIR

Dear Mr. Surtees:

This letter confirms that CBRE, Inc. is authorized to act as agent for Teachers Insurance and Annuity Association, for the Benefit of its Separate Real Estate Account, the owner of Block 7.15, Lot 14.04, containing the MarketFair retail center. This authorization is for land use, zoning and building permit matters for MarketFair.

If you have any questions or require additional information please do not hesitate to contact me. Thank you for your assistance.

Very truly yours,



Todd H. Rollins
Managing Director, Asset Management
Northeast Head, Retail

cc: Richard Kenwood
Thomas M. Letizia, Esq.
Susan Ferrara

West Windsor Township

Department of Community Development – Division of Land Use

SITE PLAN CHECKLIST

PROPERTY LOCATION:

BLOCK 7.15 LOT 14.04 APPLICATION CONTROL NO. _____

CHECKLIST COMPLETED BY K. Brakel CHECKED BY: D Geoffrey Brown
DATE: 10/16/20

() PRELIMINARY () FINAL (X) PRELIMINARY/FINAL () SKETCH PLAN

The following are statutory items required to be shown on plans submitted for Site Plan approval. As the items are completed the applicant should check that item off on the line provided. If a waiver of any item is requested, insert "W.R." on the appropriate line, and on Page 7 indicate your reasons as to why the waiver is requested. Certification of application completeness will be held in abeyance, pending Planning Board action on waiver requests. Applicable Township Ordinances shall be referred to for specific site development design criteria.

Section 200-11.A Map Details - All maps and other documents submitted for Site Plan Review shall contain following information in addition to specific Site Plan details as required for each review stage.

APPLICANT

TOWNSHIP

- | | | |
|----------|--|-------|
| <u>X</u> | 1) Title and location of property | _____ |
| <u>X</u> | 2) Name and address of landowner and applicant. If a corporation is landowner or applicant, the principal office location and name of President and Secretary shall be included. | _____ |
| <u>X</u> | 3) Name, address and professional license number and seal of the professional preparing documents and drawings. All plans shall be prepared, signed and sealed by a licensed professional engineer or architect. | _____ |
| <u>X</u> | 4) A place for the signature of the Chair and Secretary of the Planning Board and the Health Department. | _____ |
| <u>X</u> | 5) Date of plan and any modifications thereto. | _____ |
| <u>X</u> | 6) The legends, as shown on Page 8 of this list, shall be on the Site Plan map. | _____ |

Section 200-12 SKETCH PLAN REVIEW

200-12.A Sketch Details - The Sketch Site Plan may be prepared by the applicant and contain sufficient information for discussion by the Board and the applicant.

Section 200-13 PRELIMINARY SITE PLAN APPROVAL

200-13.C Preliminary Site Plan Details – The Preliminary Site Plan Application technical materials, notwithstanding any other requirements of this or other Township ordinances, shall contain the following:

APPLICANT

TOWNSHIP

- _____ 1) Locator map at a scale of one inch equals two thousand feet (1"=2,000'), or larger scale, showing the lot and block number of the parcel in question and the lot and block number adjacent and opposite properties. This map should also show any contiguous lot in which the applicant has any direct or indirect interest, and the nature of the applicant's interest.
- _____ 2) An aerial photograph superimposed upon the plans with the track boundaries outlined. Also photographs of the property where necessary to show any unusual topographic, environmental or physical aspect of the site. This would included but not be limited to rock outcroppings, vegetation, natural drainage ways, wetlands and existing structures and improvements.
- _____ 3) A preliminary plan at a scale of one inch equals fifty feet (1"=50'), or larger scale and any supplemental plans that are necessary to properly depict the project. In the case of a complex project a scale other than one inch equals 50 feet may be submitted provided that one copy of a photomechanical reduction to a scale of one inch equals fifty feet is submitted. The preliminary plan shall show at least the following information:
- _____ (a) North arrow, scale, graphic scale, date and notes and dated revisions.
- _____ (b) The zoning district in which the parcel is located together with the district boundaries included within the boundaries of the parcel or within two hundred (200) feet therefrom. All setback lines, landscape strips, landscape buffers, building heights and other bulk requirements shall be shown and dimensioned. Any deviation from requirements of this Part 1 shall be specifically shown.
- _____ (c) Survey map, prepared by a licensed surveyor of New Jersey showing boundaries of the properties, lines of all existing streets and roads, easements, rights-of-way, and areas dedicated to public use within two hundred (200') feet of the development. These shall be dimensioned and where applicable, referenced as to direction.
- _____ (d) References to any existing or proposed deed restrictions or exceptions concerning all or any portion of the parcel. A copy of such covenant, deed restrictions or exceptions shall be submitted with application.
- _____ (e) The existing and proposed contours, referred to U.S. Coast and Geodetic Survey Datum, at a contour interval of not less than two (2) feet. Existing contours are to be indicated by solid lines. Location of existing rock outcroppings, high points, watercourses and drainage ways, depressions, ponds, marshes, vegetation, wooded areas and other significant existing features including previous flood elevations of water-courses ponds and areas as determined by survey. Trees of five (5) inches or over in caliper shall be specifically located and identified. Any proposed changes of such natural features shall be specifically noted.
- _____ (f) The location, size, elevation, slope and type of storm drainage structures above and below grade, whether publicly or privately owned. Design calculations supporting the adequacy of proposed drainage shall be submitted. The Site Plan shall include existing ponds, streams, and watercourses as well as the designated Greenbelt, if applicable.

APPLICANT

TOWNSHIP

- _____ (g) The location of all existing buildings, bridges, culverts, paving, lighting, signs or any other structures with grade elevations for each structure. Grade elevations may be established from use of Township topographical maps. _____
- _____ (h) The distances measured along the right-of-way lines of existing streets abutting the property, to the nearest intersection with other streets. _____
- _____ (i) The proposed use or uses of the land, buildings and structures. _____
- _____ (j) The quantitative aspects of the proposal such as improvement coverage, number of units, square feet of construction, value of construction, density, coverage, number of employees, number of residents and area of land, etc. Specifically identified on the Site Plan, in tabular form shall be pertinent zoning data, indicating the bulk/area requirements of the zone in which the proposed development is located and how the proposed development responds to the zoning requirements. _____
- _____ (k) The proposed buildings and structures and any existing structures to remain, with dimensions, setbacks, heights (in feet and stories), and first floor or grade elevations. Existing buildings and structures to be removed shall be indicated. Sketch or typical building elevations indicating type of materials to be use. _____
- _____ (l) The location and designs of any off street parking areas, bicycle parking, service, trash or loading areas showing size and location of bays, aisles, barriers, planters, maneuvering areas, and traffic patterns. Include manufacture's cut or illustration depicting type of bicycle parking facility proposed. Also provide typical plan layout of facility at an appropriate scale to determine location from walkways and building lines. _____
- _____ (m) The means of vehicular access for ingress to and egress from the site, showing the proposed traffic channels, lanes and any other structure or devise intended to control traffic. _____
- _____ (n) The location, design, dimensions, and materials details in the form of construction documents (and size of) for any on or off-site pedestrian parks, walkways and bicycle pathways, open space, common open space, plazas, promenades and recreation areas or any other public uses. _____
- _____ (o) The location and design of all proposed utility structures and lines, storm water drainage on –site and off-tract, with manholes, inlets, pipe sizes, grades, telephone, inverts and directions of flow, as well as telephone, power and light, water hydrant locations, sewer and gas, whether publicly or privately owned. Where on-site sewage disposal systems and/or potable water wells are provided these shall be located on the site plan indicating size of system and distance between wells and septic fields. _____
- _____ (p) The location and the design of the proposed screening landscaping and planting, including a planting plan and schedule of plant materials. _____

APPLICANT

TOWNSHIP

- _____ (q) The location of all outdoor lighting (freestanding or on building), the size, nature of construction, lumens, heights, area and direction of illumination, foot-candles produces, typical manufacturer cuts illustrating style, and time controls proposed for outdoor lighting and display.
- _____ (r) The location and design of all signs, the size, nature of construction height and orientation, including all identification signs, traffic and directional signs and arrows, freestanding and facade signs and time controls for sign lighting.
- _____ (s) The location and size of all proposed easements, rights-of-way, public areas to be dedicated to the public or to be restricted or defined by deed or any other arrangement. Also the location of any Master Plan proposals indicating roadway, greenbelt, public area or facility shall be shown.
- _____ (t) A tabulation of a proposed building's perimeter that fronts on a public or private street or on a fire apparatus space expressed in feet as well as percentage of total building perimeter linear footage shall be indicated as part of site data information contained on site plan.
- _____ (4) All items as required in the Environmental Impact Statement as set forth in Article V, Section 200-23 of this Part 1 or a statement concerning such which does not apply.
- _____ (5) Where applicable, the method by which any common or public open space or commonly held building or structure is to be owned and maintained.
- _____ (6) Where warranted, such other material deemed necessary by the Planning Board to evaluate the physical, fiscal or socioeconomic impact of the proposed development upon the Township.
- _____ (7) Reserved.
- _____ (8) Soil Survey Map, prepared by a professional engineer to indicate the different types of soils that exist on the subject tract and within two hundred (200) feet of the extreme limits of the subject tract. This map shall be in conformance with soil survey of Mercer County, New Jersey published by U.S. Department of Agriculture. Where wetlands exist on or within two hundred (200) feet of the extreme limits of the subject tract, as per N.J.A.C. 7:7A, of the wetlands boundary shall be superimposed on the soil survey map.
- _____ (9) If wetlands exist, as per N.J.A.C. 7:7A, Freshwater Wetlands Protection Act rules are to be complied with prior to submission of plans to the Township. All areas of wetlands shall be depicted on plans with surveyor's metes and bounds information for the outbounds of such areas. A Letter of Interpretation issued by the N. J. Department of Environmental Protection, Division of Coastal Resources shall be submitted indicating the presence or absence of Freshwater Wetlands on the parcel in question.

_____ (10) A Landscape Plan, prepared by a certified or licensed landscape architect, at a minimum scale of 1" = 50' or larger, indicating a planting schedule indicating specific botanical and common plant names, sizes, root spacing, and comments, and indicating the location, form, height and width of other landscape architectural materials such as berms, fences, walls, site furnishings bridges and walks, when required or appropriate, an illustrative section drawing to show the effectiveness of landscape buffers.

_____ (11) A Traffic Signage Plan conforming to the requirements of Section 200-91.U, Part 3, Subdivision and Site Plan procedures of this chapter.

SECTION 200-14 FINAL SITE PLAN APPROVAL

200-14.C.1 Final Site Plan Details – The final site plan application technical materials shall include the following:

_____ a) The approved preliminary site and copy of the preliminary resolution of approval together with all proposed additions, changes or departures therefrom, if applicable.

b) Final construction documents among other items, illustrating:

_____ (1) The final plans for site development and site improvement including those construction details as may be specified at the time of preliminary approval.

_____ (2) The ground floor or other floor plans sufficient to show pedestrian, vehicular or other access as it relates to the final site plan.

_____ (3) The building elevation or typical elevations including size, structure, materials, colors and textures.

_____ (4) Elevations or typical illustrations of any accessory structures, sign or area visible to the general public.

_____ (5) A final Landscape Plan, signed and sealed by a certified or licensed landscape architect, in the form of construction drawings and substantially conforming to the approved preliminary Landscape Plan. The plan shall be prepared for separate half-tone sheets of the engineer's grading site plan. The plan shall include the location and detailed specifications for all landscape architectural improvements including planting details which conform with the standard Township details and for the irrigation and maintenance of all planting areas.

_____ (6) A Traffic Signage Plan conforming to the requirements of Section 200-91.U, Part 3, Subdivision and Site Plan Procedures, of this chapter.

Section 200-15 MINOR SITE PLAN APPROVAL

200-15.C Minor Site Plan Details – The minor site plan application technical materials, notwithstanding any other requirements of this or other Township ordinances, shall contain the following:

<u>APPLICANT</u>		<u>TOWNSHIP</u>
<u> X </u>	1) Locator map at a scale of one inch equals two thousand feet (1" = 2,000'), or larger scale, showing the lot and block number of the parcel in question and the lot and block numbers of adjacent or opposite properties. This map should also show any contiguous lot in which the applicant has any direct or indirect interest, and the nature of the applicant's interest.	<u> </u>
<u> X </u>	2) A site plan at a scale of one inch equals fifty feet (1" = 50'), or larger scale, and any supplemental plans that are necessary to properly depict the project. The minor site plan shall show the following information as appropriate to describe the proposed site modifications	<u> </u>
<u> X </u>	(a) North arrow, scale, graphic scale, date and notes and dated revisions.	<u> </u>
<u> X </u>	(b) The zoning district in which the parcel is located together with the district boundaries included within the boundaries of the parcel or within two hundred (200) feet therefrom. All setback lines, landscape strips, landscape buffers, building heights and other bulk requirements shall be shown and dimensioned. Any deviation from requirements of this Part 1 shall be specifically shown.	<u> </u>
<u> X </u>	(c) Survey map, prepared by a licensed surveyor of New Jersey, showing boundaries of the properties, lines of all existing streets and roads, easements, rights-of-way, and areas dedicated to public use within two hundred (200) feet of the development. These shall be dimensioned and where applicable, referenced as to direction.	<u> </u>
<u> X </u>	(d) Reference to any existing or proposed deed restrictions or exceptions concerning all or any portion of the parcel. A copy of such covenants, deed restrictions or exceptions shall be submitted with the application.	<u> </u>
<u> WR </u>	(e) The existing and proposed contours, referred to U.S. Coast and Geodetic Survey Datum, at a contour interval of not less than two (2) feet. Existing contours are to be indicated by solid lines. Any proposed change of on-site natural features (e.g. vegetation, wooded areas, watercourses, etc.) shall be specifically noted.	<u> </u>
<u> X </u>	(f) The site plan shall include existing ponds, streams and watercourses as well as the designated greenbelt or wetlands as defined by N.J.A.C. 7:7A Freshwater Wetlands Protection Act, if applicable. Any effects on existing drainage facilities resulting from the proposed site modifications shall be described.	<u> </u>

APPLICANT

TOWNSHIP

- WR (g) The location of all existing buildings, bridges, culverts, paving, lighting, signs or any other structures with grade elevations for each structure in the area adjacent to the proposed site modifications. Grade elevations may be established from use of Township topographical maps.
- X (h) The distances measure along the right-of-way lines of existing streets abutting the property, to the nearest intersection with other streets.
- X (i) The proposed modification(s) to the existing use or uses of the land, buildings and structures.
- X (j) Specifically identified on the site plan, in tabular form, shall be pertinent zoning data indicating the bulk/area requirements of the zone in which the proposed development is located and how the proposed site modifications respond to the zoning requirements.
- X (k) The location and size of all proposed easements, rights-of-way, public areas to be dedicated to the public or to be restricted or defined by deed or any other arrangement. Also the location of any Master Plan proposals indicating roadway, greenbelt, public area or facility shall be shown.
- WR (l) A tabulation of a proposed building's perimeter that fronts on a public or private street or on a fire apparatus space expressed in feet as well as percentage of total building perimeter linear footage shall be indicated as part of site data information contained on a site plan.
- X (m) Location of all utilities including gas, electric, water, sewer, CATV.

REQUEST FOR WAIVER

Section From Which Waiver Requested

Reason for Request

- 200-15.C(e) The proposal is the replace and/or expand existing patios and walks which already are disturbed, the existing grades will be maintained along the adjoining areas.
- 200-15.C(g) The proposed work is adjacent on-site facilities, grades will remain same.
- 200-15.C(l) The entire building perimeter fronts on either access drive or parking area cartways.

LEGEND

(PRELIMINARY) or **(FINAL)**

1. SITE PLAN OF _____
BLOCK _____ LOT _____ ZONE _____
DATE _____ SCALE _____
APPLICANT _____
ADDRESS _____
SITE PLAN CONTROL NO. _____

2. I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE TOWNSHIP PLANNING BOARD OF WEST WINDSOR TOWNSHIP.

(Owner) (Date)

3. To be signed before issuance of a Building Permit and incorporated only on a Final Site Plan (as applicable):

I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

(Township Clerk) (Date)

(Building Permit Issued) (Date)

4. To be incorporated only on Final Site Plan and signed prior to issuance of a Building Permit:
VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT

(Township Clerk) (Date)

5. APPROVED BY THE PLANNING BOARD (Preliminary Approval Date) _____
(Final Approval Date) _____

(Chairman) (Date)

(Secretary) (Date)

6. APPROVED BY THE HEALTH OFFICER

(Chairman) (Date)

7. EXPIRATION OF APPROVAL (PRELIMINARY – 3 YEARS; FINAL – 2 YEARS)

Date of Expiration (Without Extensions)



D. GEOFFREY BROWN, P.E., L.S., & P.P.
FRANK J. FALCONE, L.S. & P.P.
MARTIN D. KATZ, L.S.
KEVIN M. BRAKEL, P.E.

NORTH POST ROAD
P.O. Box 610
PRINCETON JUNCTION, NJ 08550
609.799.1906
FAX: 609.799.1524
EMAIL: PJEPC@PJEPC.COM
*NJ & PA LICENSED

Drainage Statement
for
Marketfair
Patio and Walk Expansion
3535 Route 1
Lot 14.04 Block 7.15
West Windsor Township, Mercer County,
New Jersey

The submitted application is to for the expansion of patio and walk areas resulting in an increase of 1,855 square feet of additional coverage.

The proposal is mitigating the additional area by reducing the length of an existing standard parking stall (18 feet) by 4 feet into compact length stalls (14 feet) and create landscape areas.

The Overall Site Plan sheet 3 of 4 of the submitted Minor Site Plans indicate the proposed areas to be adjusted. Total 58 stalls will be converted for a total area of 2,088 square feet 233 square feet over the proposed.

Currently the lot coverage is 21.73 acres, this proposal the coverage will be slightly less. Based on that the propose development will have a no adverse effect on the existing stormwater management system and downstream structures.

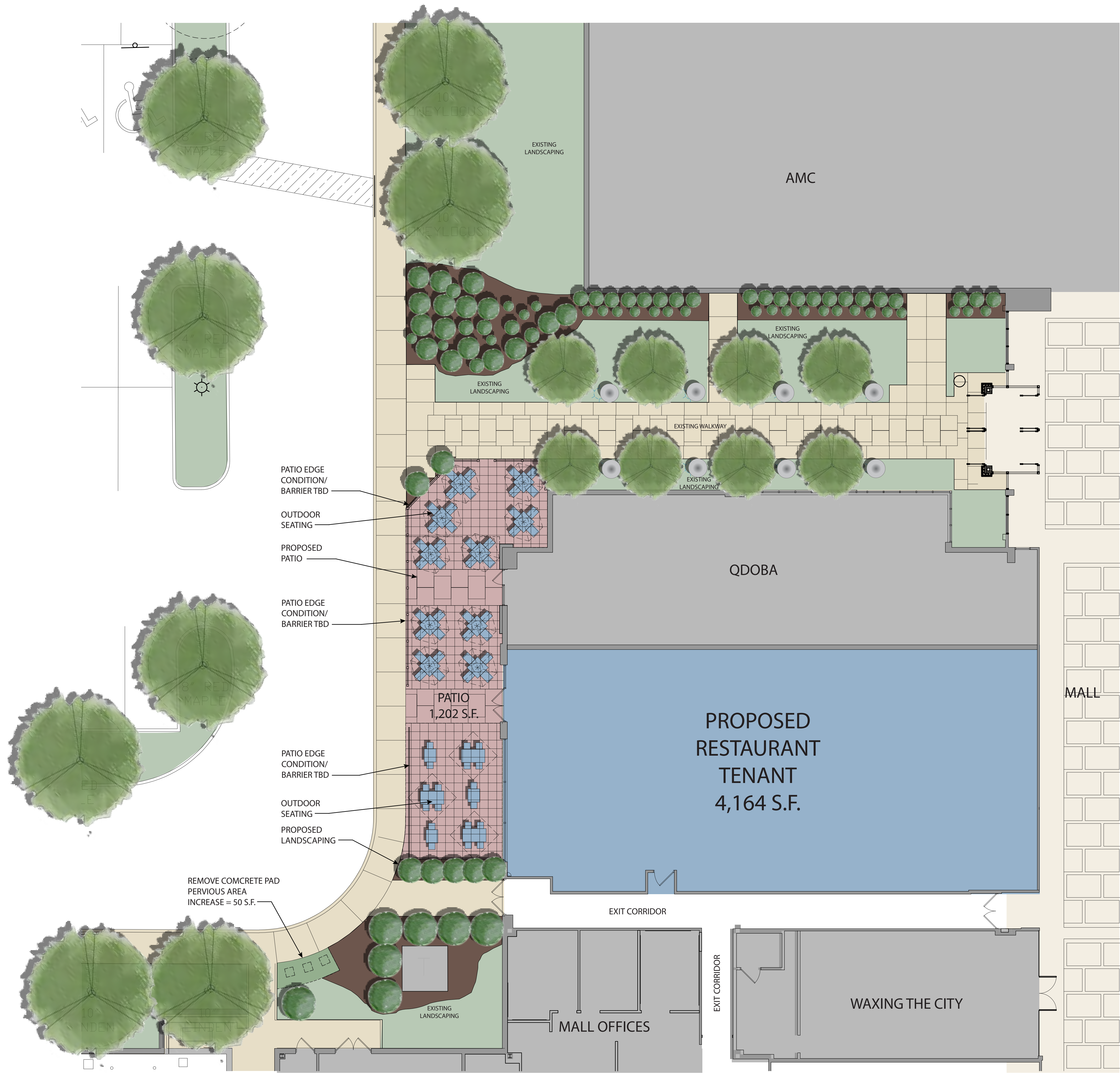
The proposed coverage is not subject to vehicle traffic therefore not required to be treated for water quality per the current NJ Stormwater Management Regulations.

Respectfully Submitted,

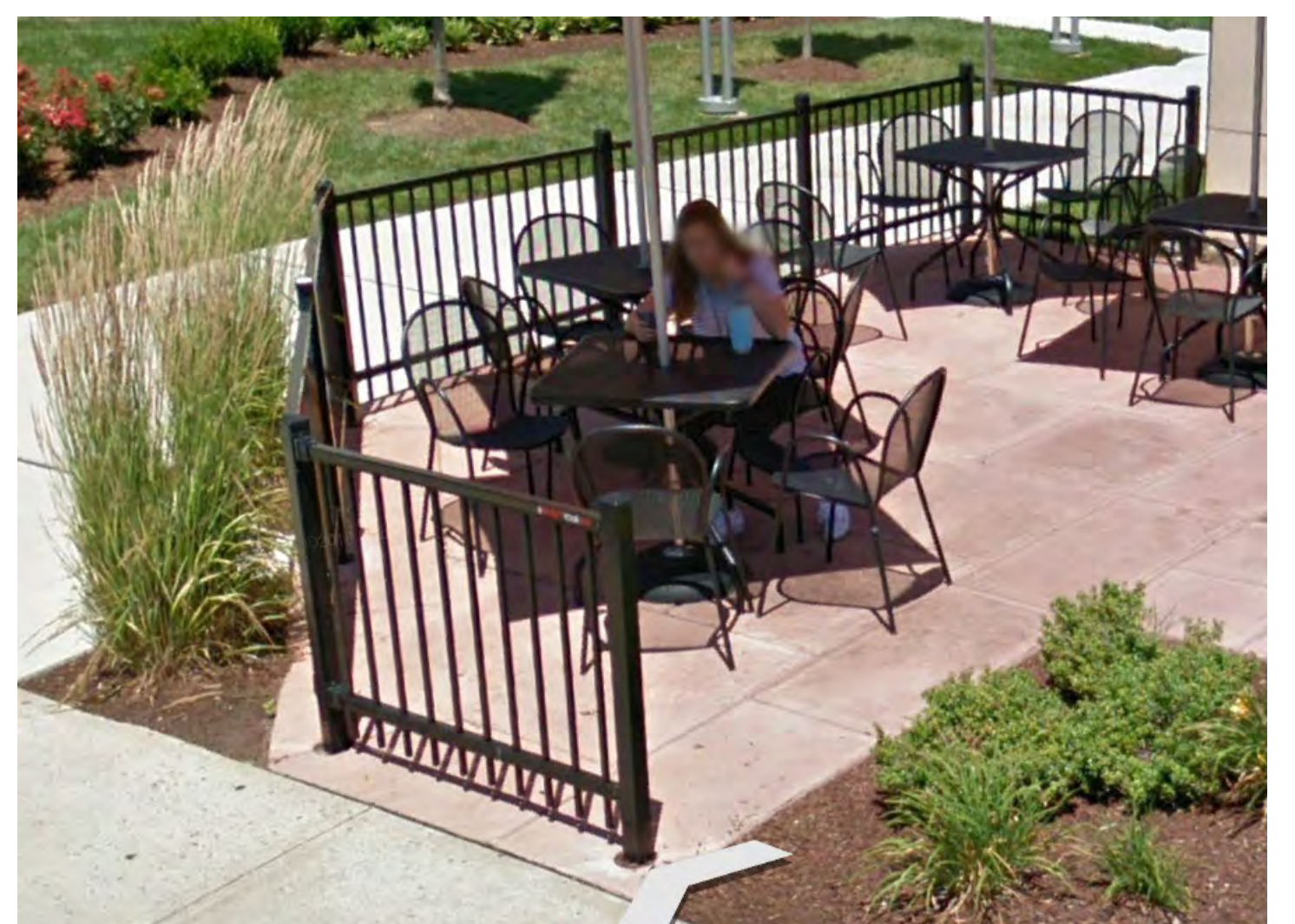
PRINCETON JUNCTION ENGINEERING, PC

Kevin M. Brakel, PE
kbrakel@pjepe.com
609-799-1906 x16

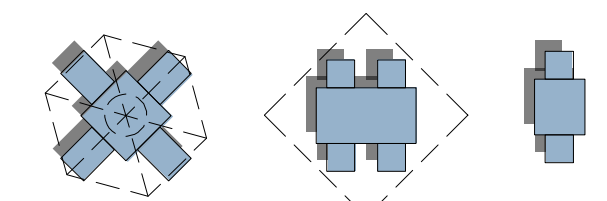
CC: CBRE, Inc



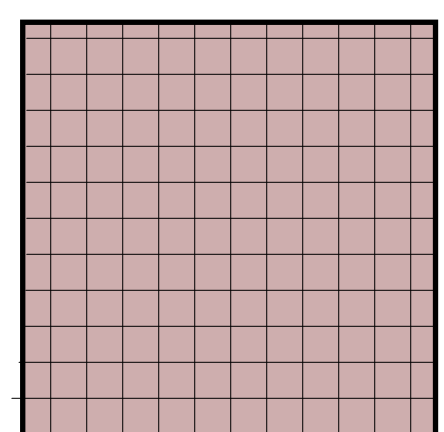
Floor Plan



Existing Condition Photo

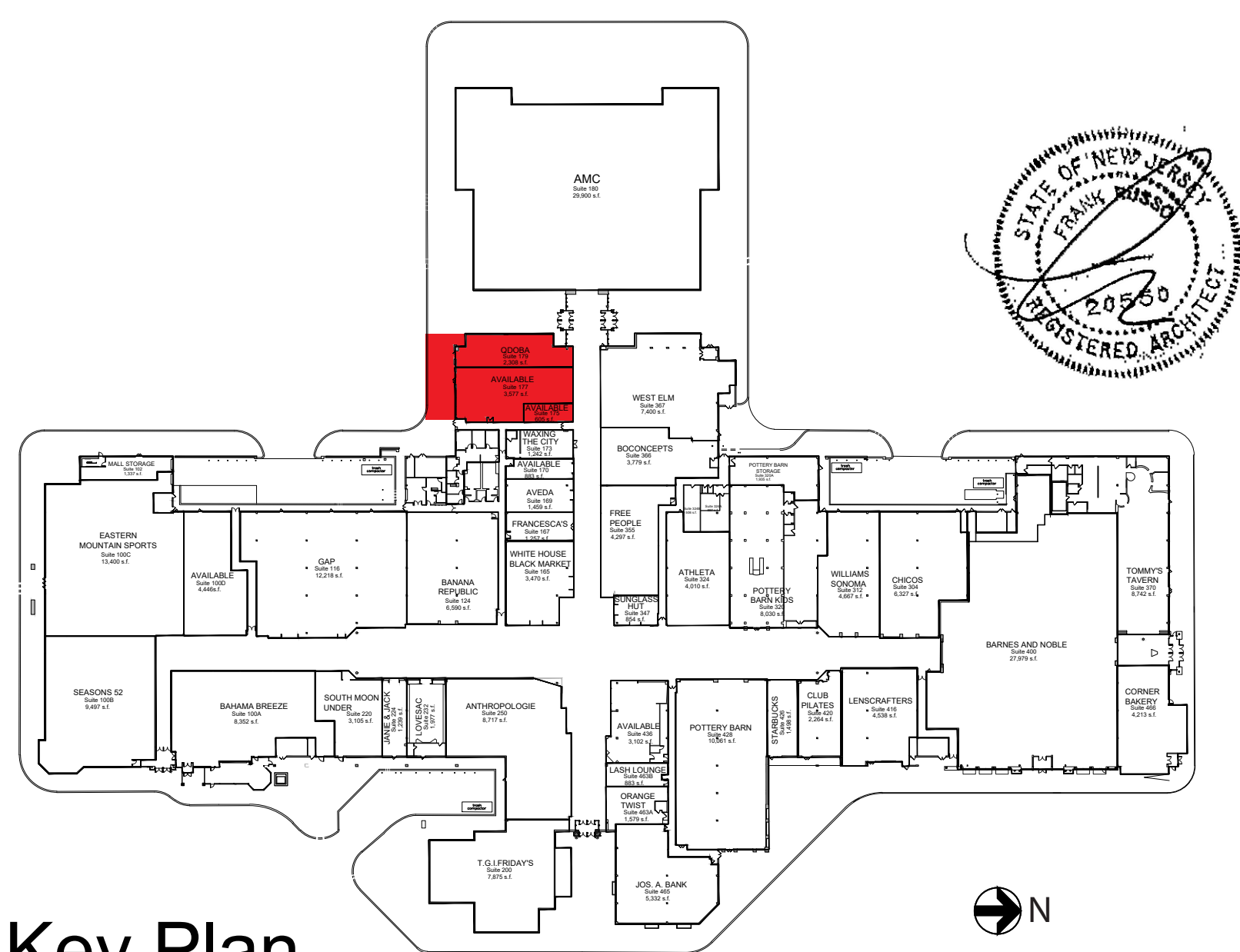


Tables and chair layout diagrammatic only. Final layout TBD by tenant

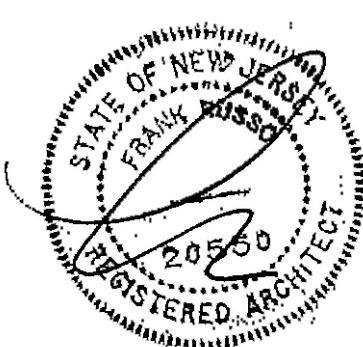


Extent of Proposed Patio

Material Legend



Key Plan



Proposed Suite 177/179 Patio

October 2020 (R2-February 19, 2021)

MarketFair
West Windsor Township, NJ 08540



Material Legend

- Glen-Gary - Sandcastle Thin Brick 1/2" Linen Series Rockface Finish/ White
- Dryvit Field #305 - Plum
- Greenscreen Trellis panels English Ivy - Hedera Helix
- 16"x16" Smooth Surface Paver Stone - Field Sandstone
- 16" x 8" Smooth Surface Paver Stone - Edge Sandstone

Tables and chair layout diagrammatic only. Final layout TBD

STR
straight hood
SP2=23.5 in dia.



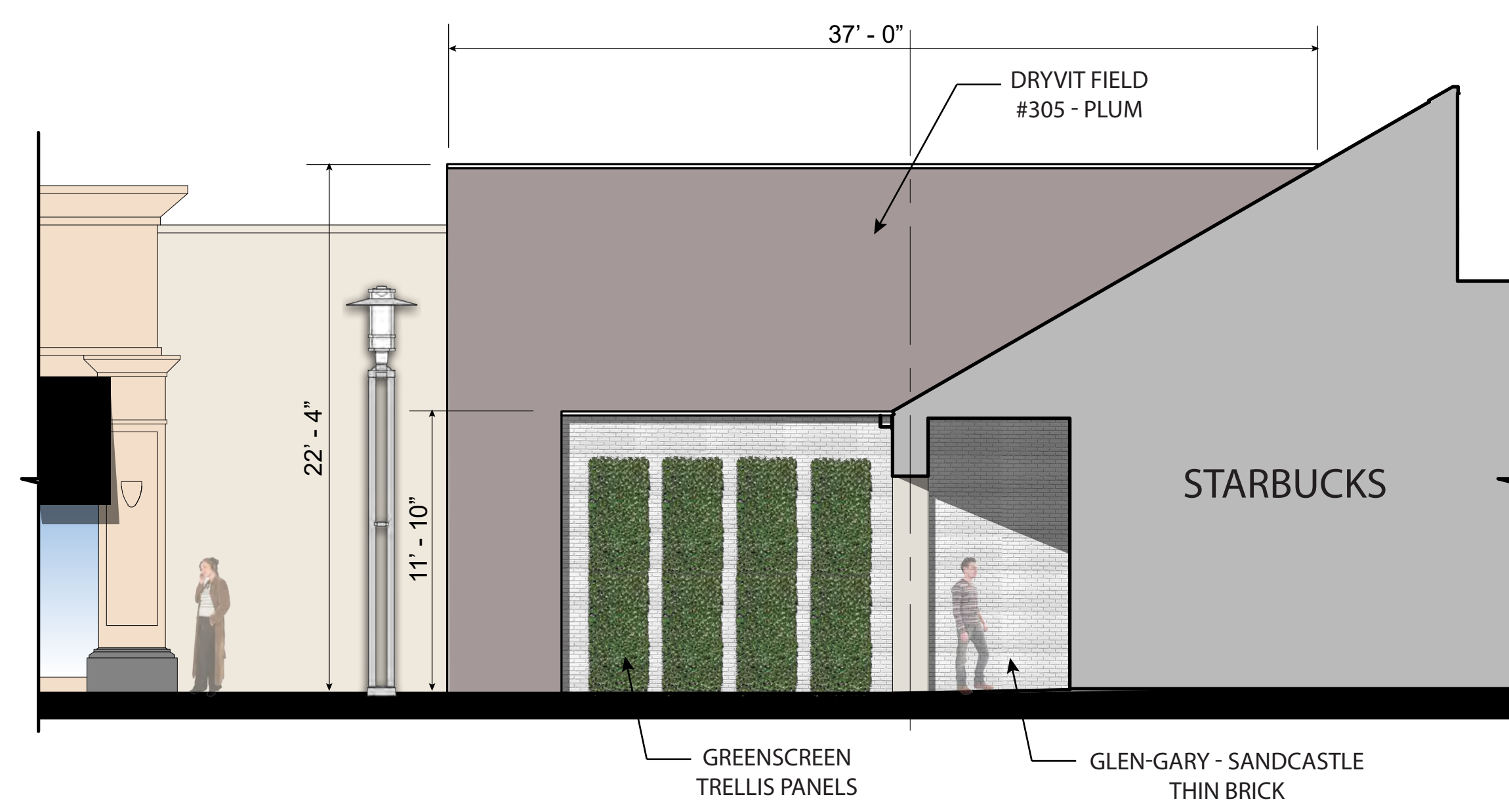
Floor Plan

Light Pole

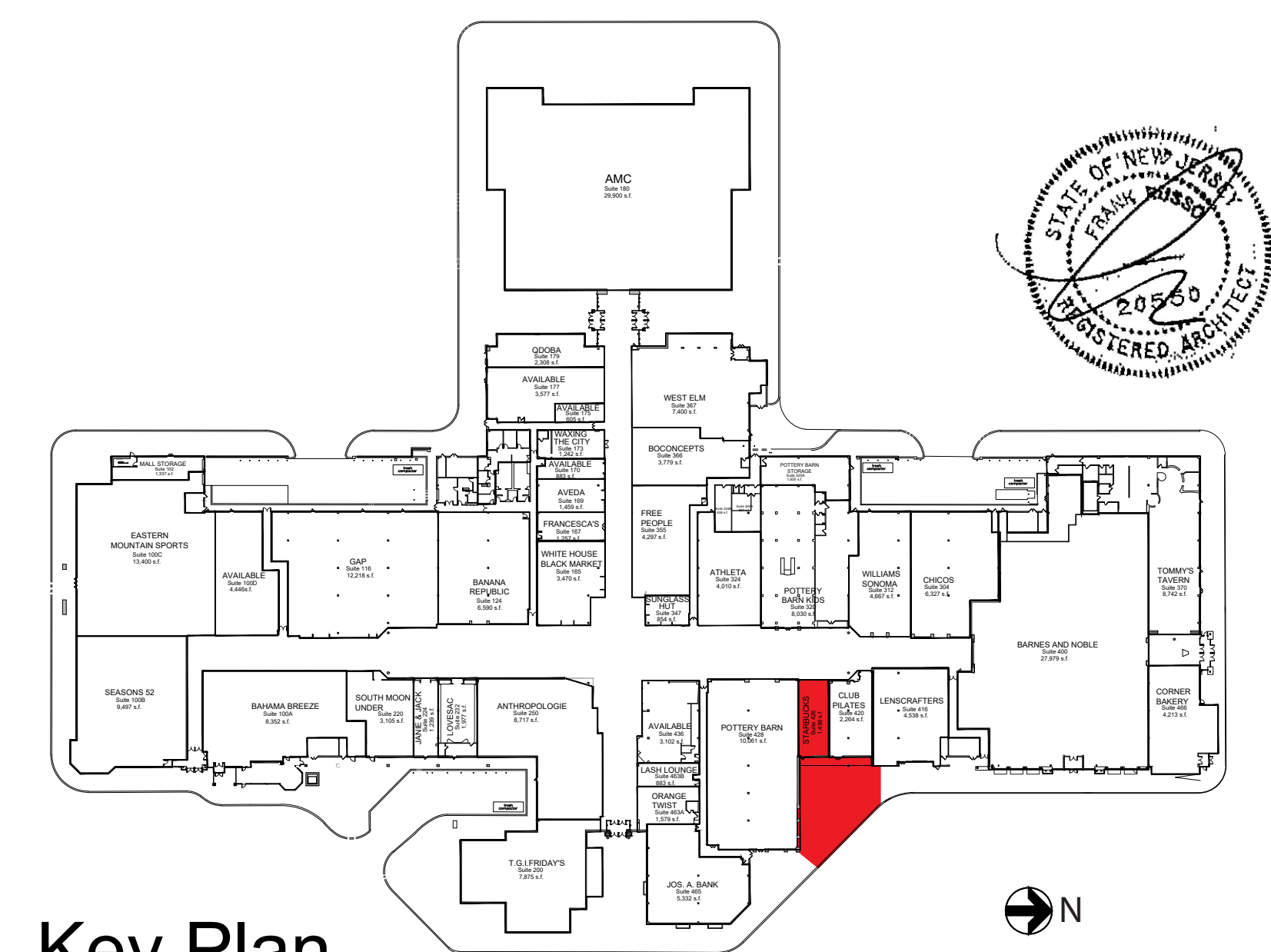
SP2 FIXTURE ON A 2P POLE
100W MH LAMP, GR3, TYPE 3 REFRACTOR
12'-0" HIGH POLE
STAINLESS STEEL HOOD AND REFLECTION
MEDIUM GREY POLE AND FRAME
MANUFACTURER: ARCHITECTURAL AREA LIGHTING



Perspective View



Elevation



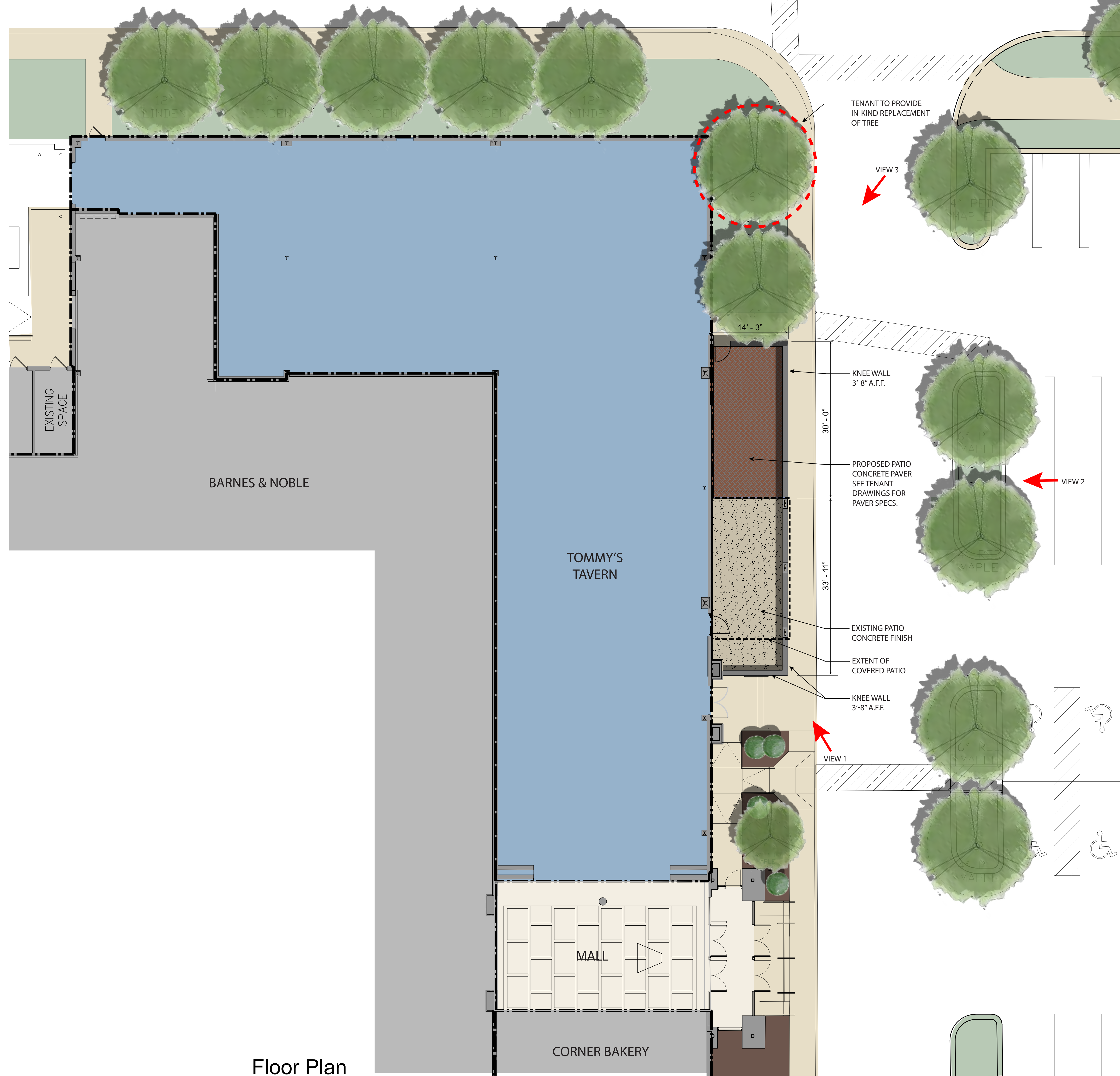
Key Plan



Proposed Starbucks Patio
October 2020 (R2-February 19, 2021)

MarketFair
West Windsor Township, NJ 08540

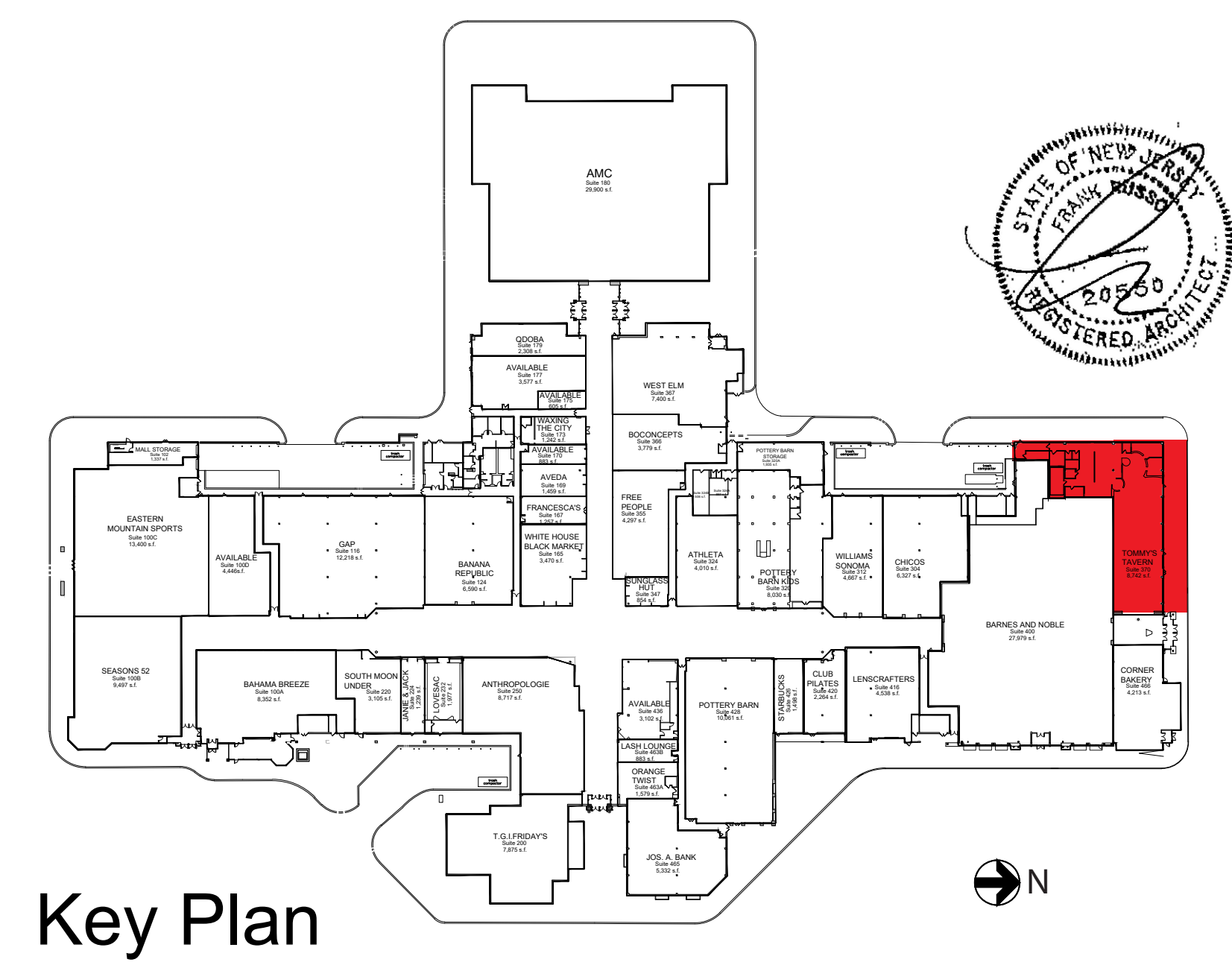




Floor Plan



Existing Photos



Key Plan



Proposed Tommy's Patio

October 2020 (R2-February 19, 2021)

MarketFair

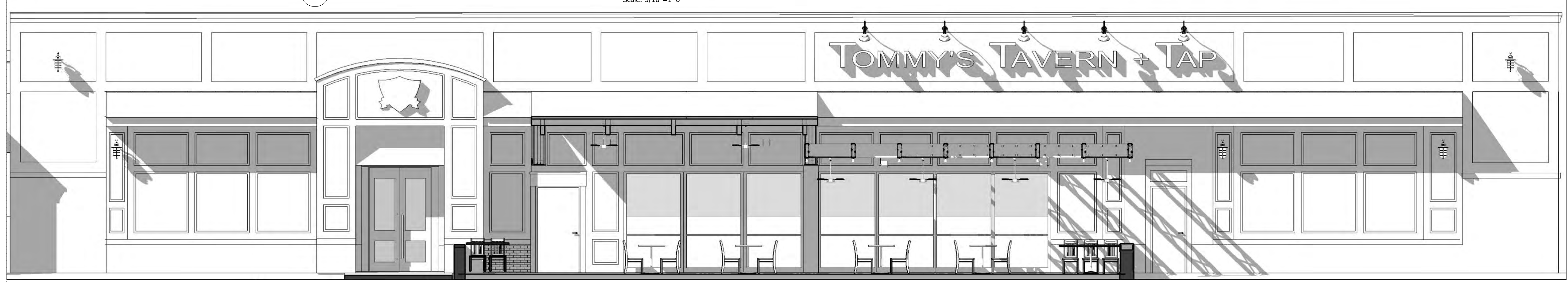
West Windsor Township, NJ 08540



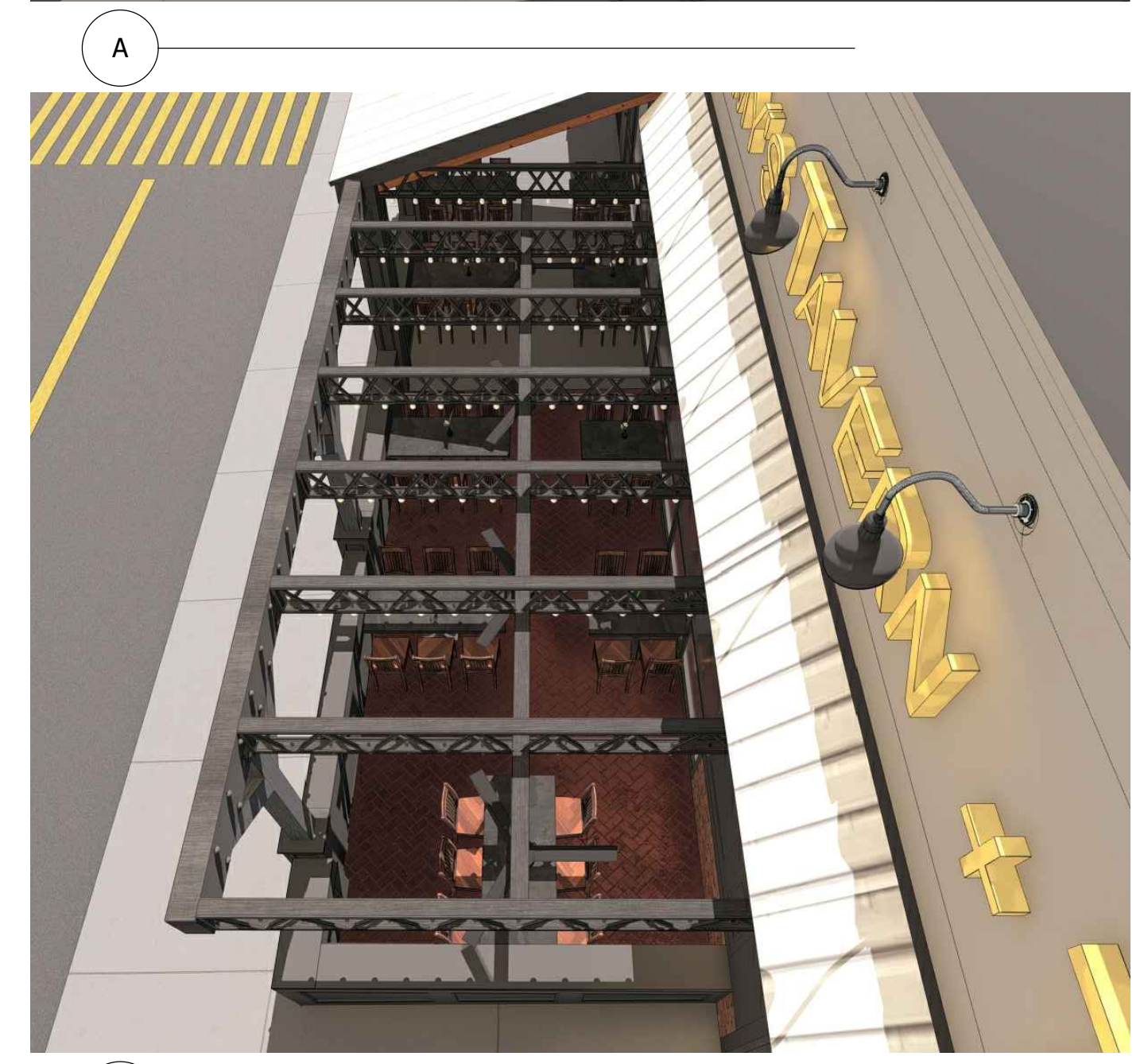
THE ARCHITECT SHALL BE RELEASED FROM ANY AND ALL LIABILITY IN THE COMMENCEMENT OF ANY WORK PERFORMED WITHIN THESE DOCUMENTS PRIOR TO OBTAINING ALL REQUIRED PERMITS FROM THE RESPECTIVE JURISDICTIONAL AGENCIES. THIS WORK IS THE PROPERTY OF THE ARCHITECT AND IS PROTECTED UNDER THE ARCHITECT'S PROFESSIONAL LIABILITY INSURANCE POLICY. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY MANNER FOR THE PURPOSE OF PROMOTING OR ENDORSING ANY PRODUCT OR SERVICE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RESPECTIVE JURISDICTIONAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RESPECTIVE JURISDICTIONAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RESPECTIVE JURISDICTIONAL AGENCIES.



6 EXTERIOR ELEVATION Scale: 3/16"=1'-0"



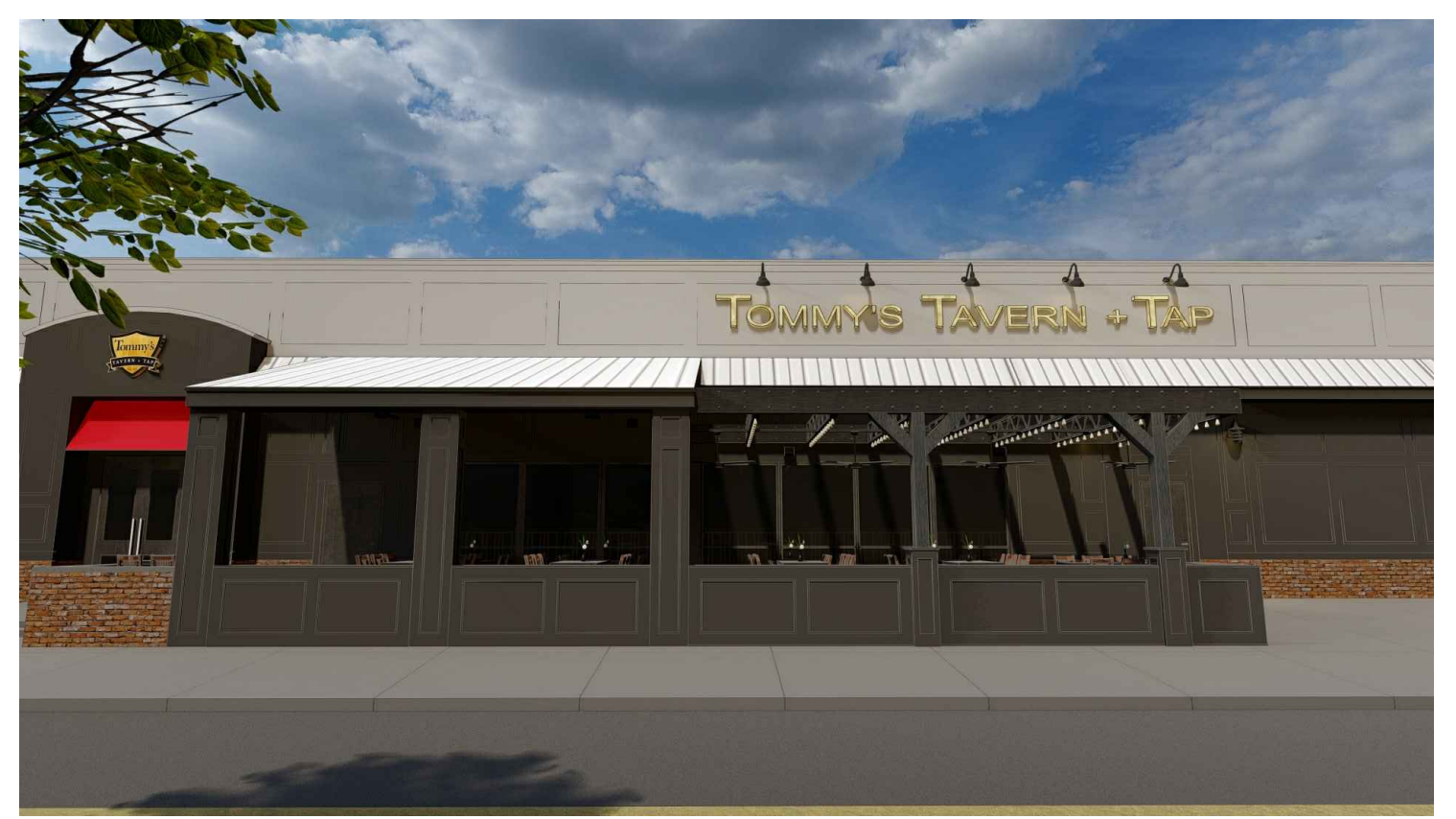
7 EXTERIOR ELEVATION Scale: 3/16"=1'-0"



A



B



F



E



REF PHOTO 1 Scale: NTS



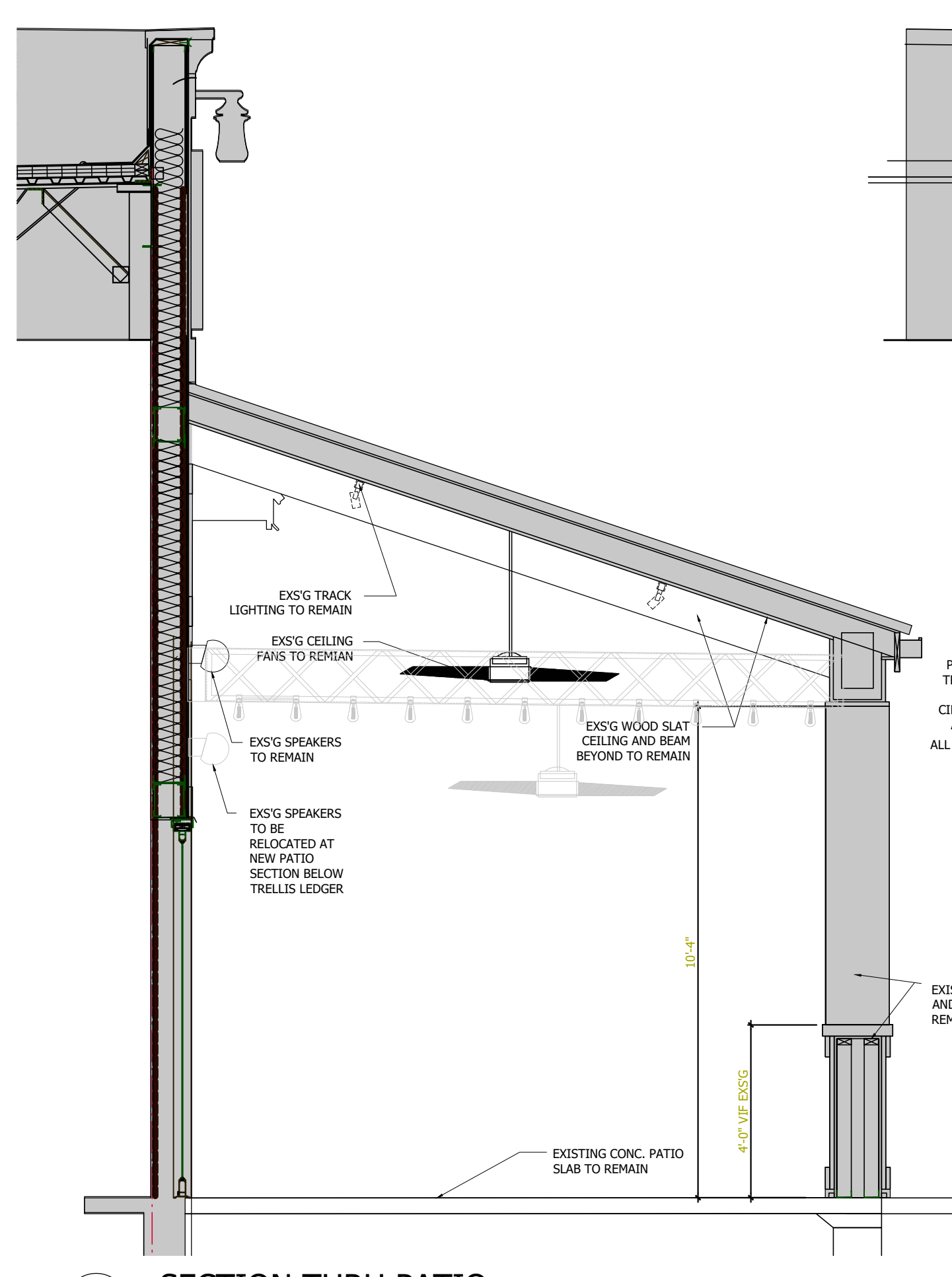
REF PHOTO 2 Scale: NTS



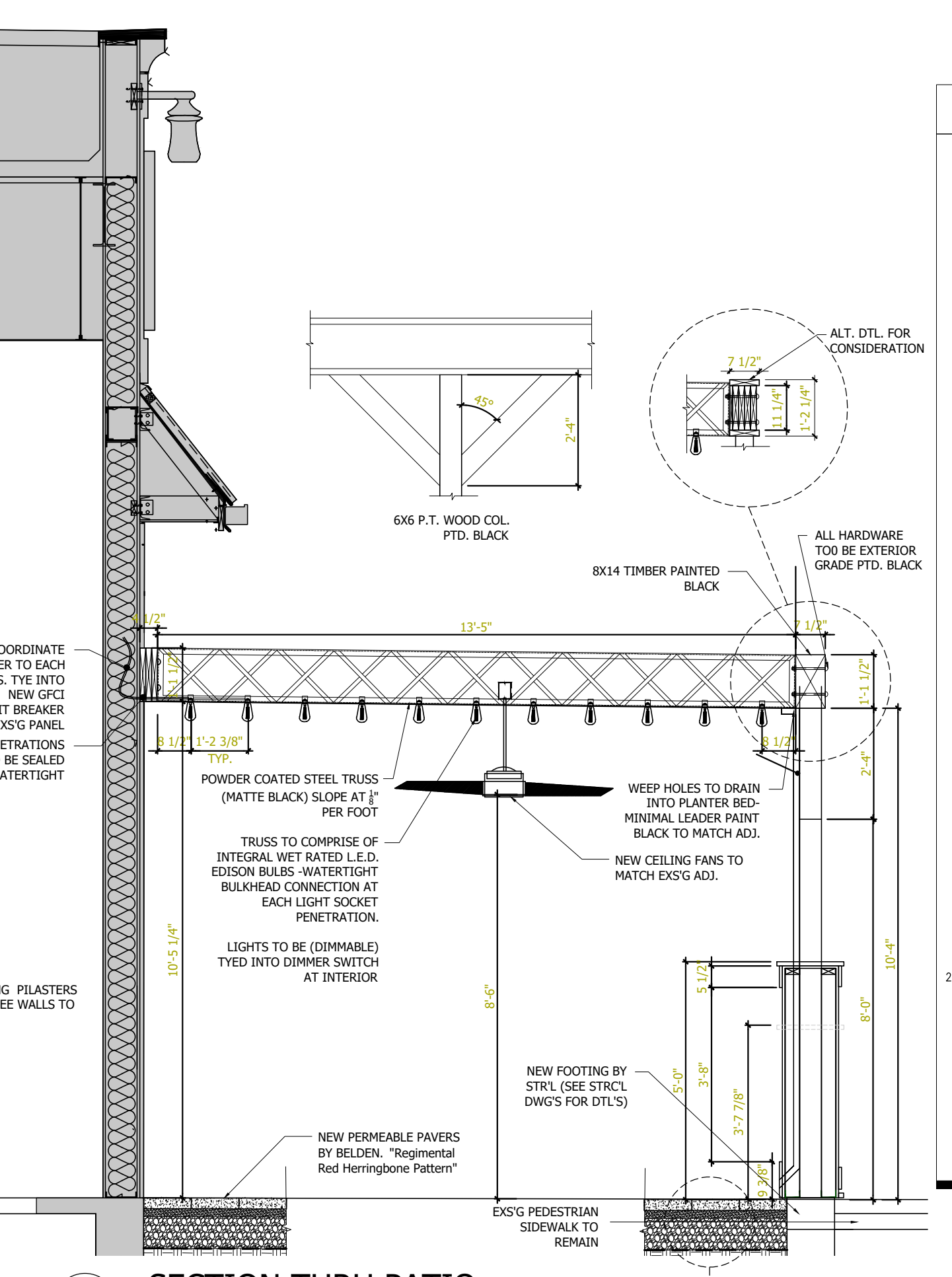
D



C



5 SECTION THRU PATIO Scale: 3/8"=1'-0"



4 SECTION THRU PATIO Scale: 3/8"=1'-0"

PATIO PAVERS SPEC.

Regimental Red Herringbone Pattern

- 2 in. (51 mm) Typical Permeable Aggregate Setting Bed
- Permeable Aggregate in Joints
- Clay Pavers
- Edge Restraint

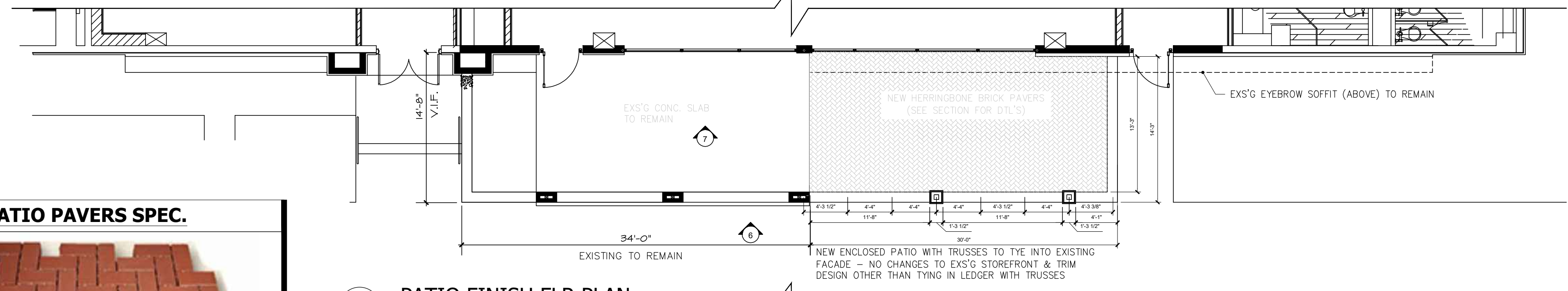
4 in. 6" IN. Permeable Aggregate Base/Subbase Reservoir

- Dense-Graded Aggregate where Required for Staking
- Edge Restraint
- Geotextile over Subgrade

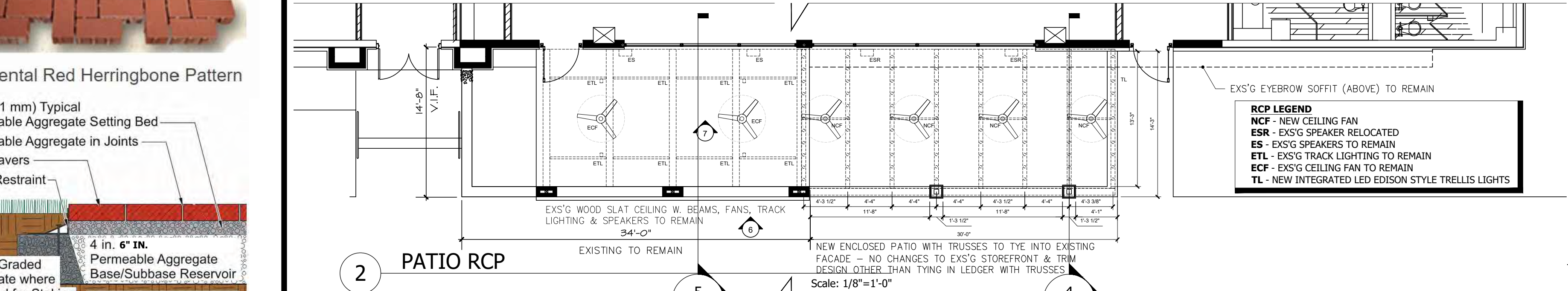
PERMEABLE PAVERS

- PERMEABLE PAVERS
- JOINT SAND
- SAND SETTING BED
- EDGE RESTRAINT: METAL OR PLASTIC TOPSOIL
- GALVANIZED SPIKE
- AGGREGATE BASE
- SUBGRADE
- GEOTEXTILE, AS REQUIRED

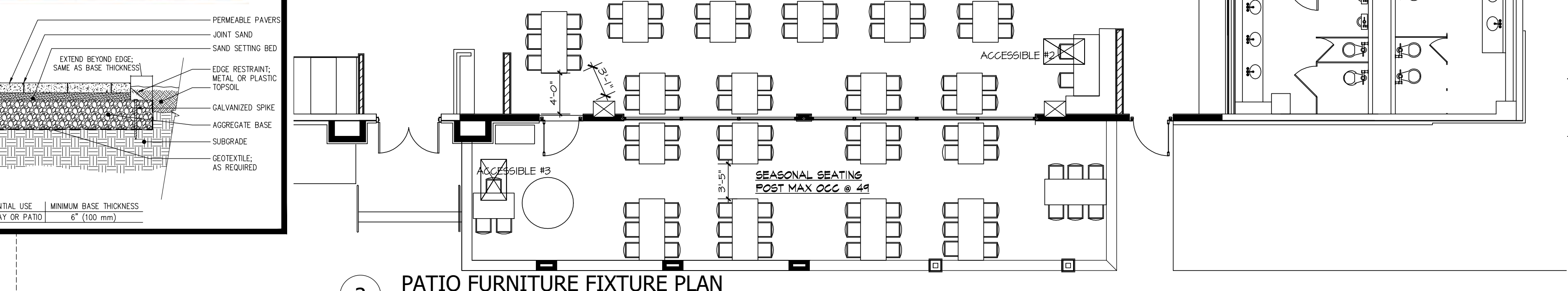
RESIDENTIAL USE | MINIMUM BASE THICKNESS WALKWAY OR PATIO: 6" (150 mm)



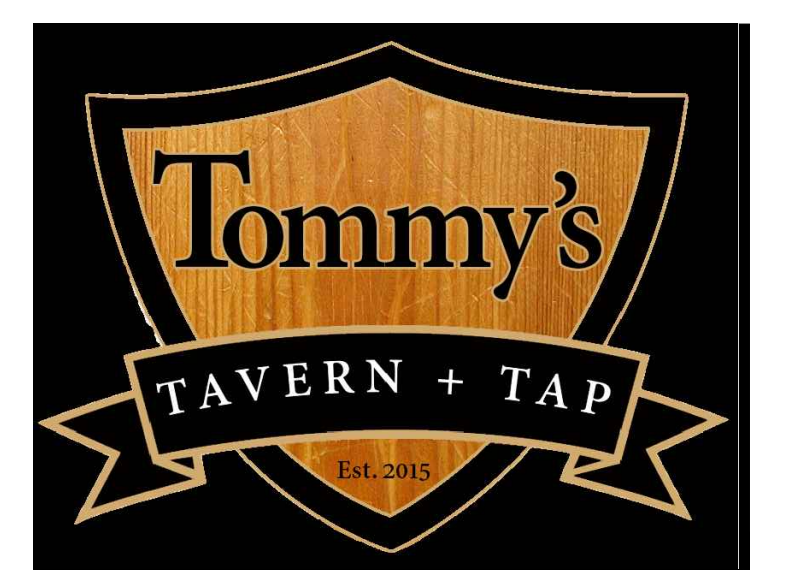
1 PATIO FINISH FLR PLAN Scale: 1/8"=1'-0"



2 PATIO RCP Scale: 1/8"=1'-0"



3 PATIO FURNITURE FIXTURE PLAN Scale: 1/8"=1'-0"



client:
 1900 Route 10 Liquor Partners, LLC 1900
 Route 10 Morris Plains, NJ 07950

issued:
 12.11.20
 2.19.21

PROJECT
 TOMMY'S TAVERN + TAP
 MARKETFAIR-SUITE 370
 3533 US HIGHWAY ONE
 LOT: 14.04 BLOCK: 7.15
 WEST WINDSOR TOWNSHIP,
 NEW JERSEY

Drawing Title
LANDLORD PACKAGE

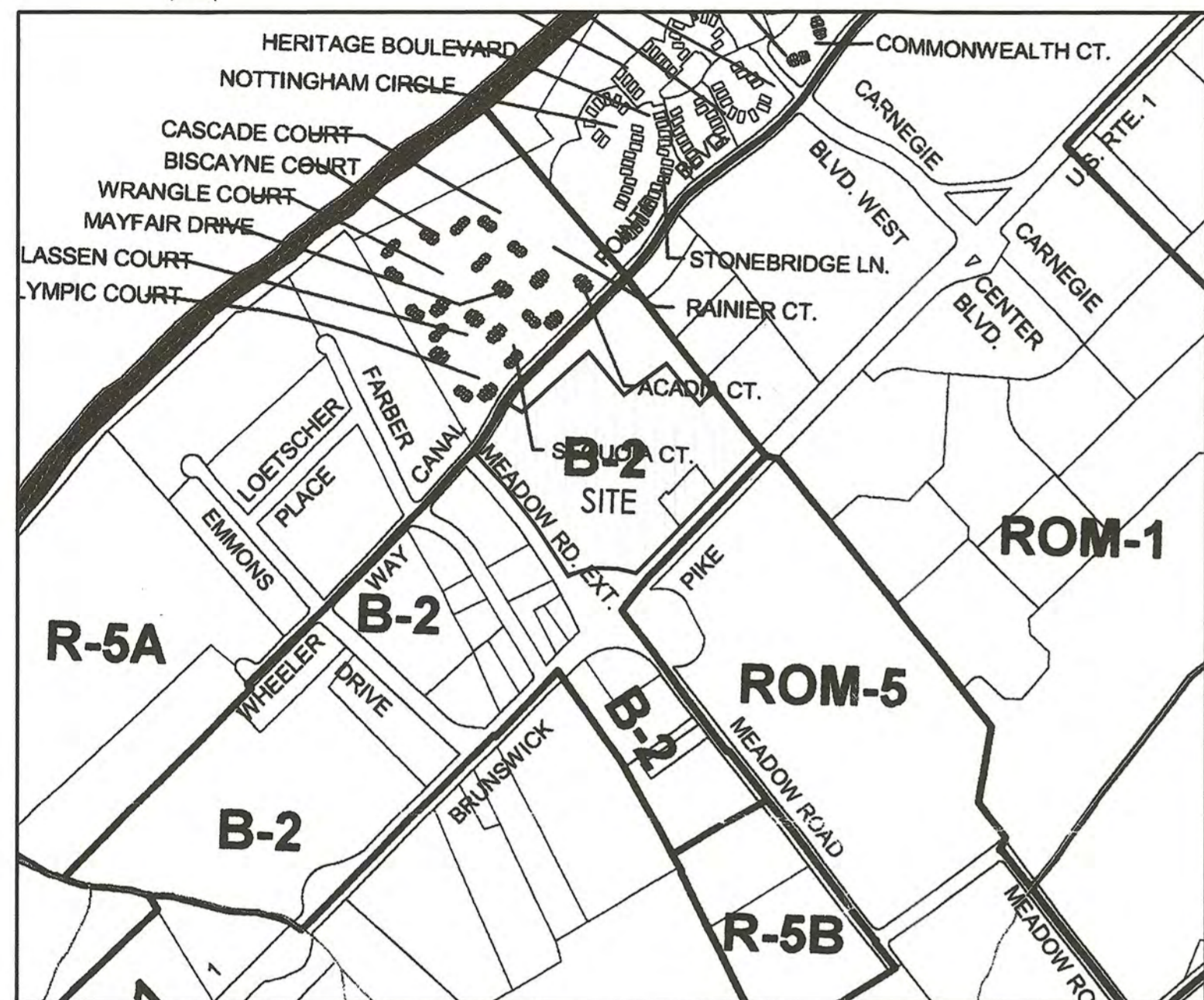
SEAL & SIGNATURE

DATE: 2/19/21
 PROJECT No: 2102
 DRAWING BY: SS
 CHECKED BY: SS
 SCALE: VARIOUS
 DWG. No.:
A1.0
 CAD FILE No:

Minor Site Plan Application Marketfair

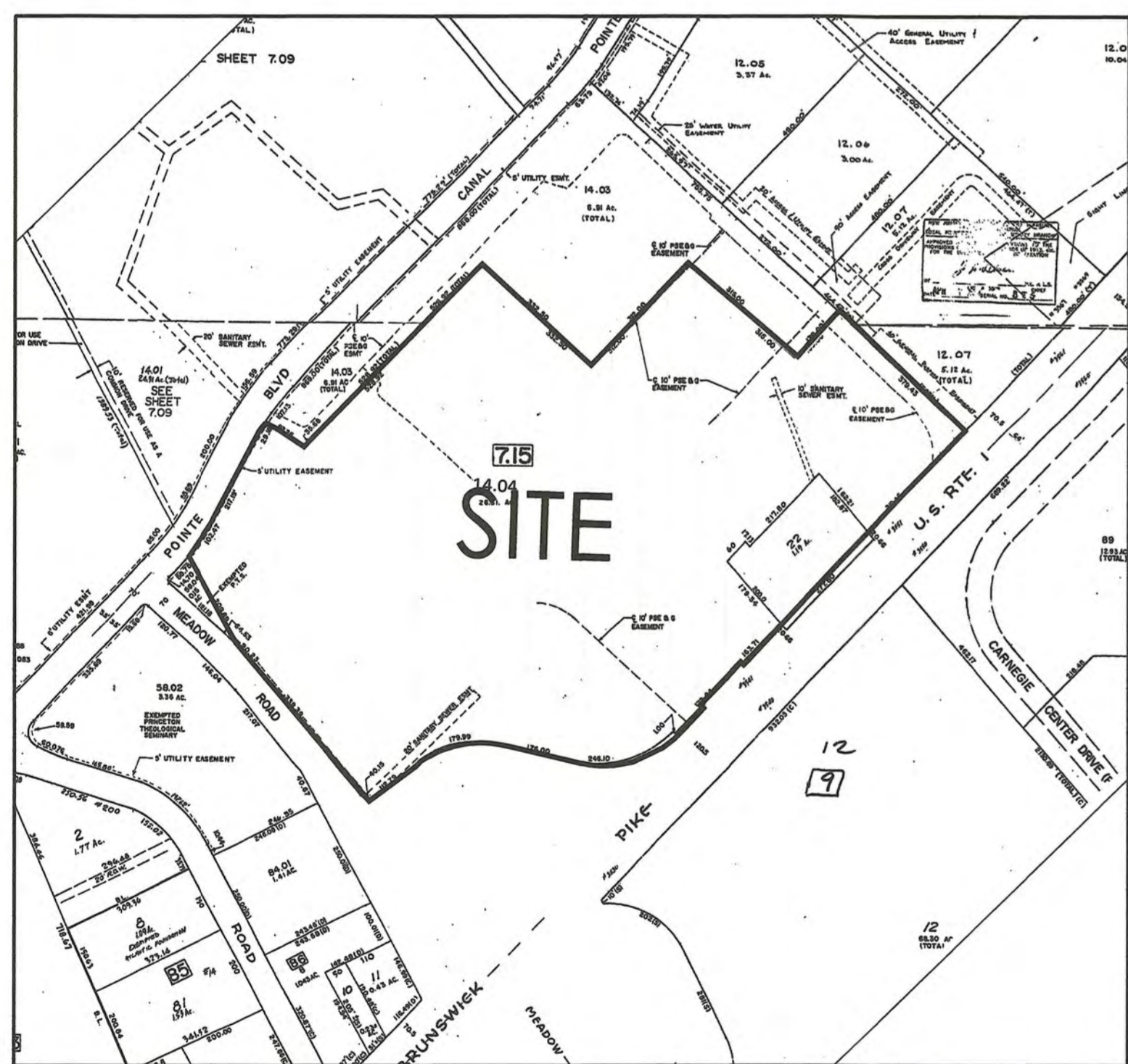
Tax Map Lot 14.04, Block 7.15, Sheet 7.04

West Windsor Township * Mercer County * New Jersey



Zoning Map

Scale: 1" = 900'



Tax Map

Scale: 1" = 300'



Aerial Map

Scale: 1" = 150'

Property Owners within 200 feet

Block	Lot	Owner	Block	Lot	Owner
7	14.01	Colonnade Pl. Condo Assoc. 850-870 Route 1 North North Brunswick, NJ 08902	86	8.01	3515 RT 1, LLC c/o C. Vernon 4567 S. Broad Street Suite No 2 Hamilton, NJ 08620
7.15	12.05	CHDA Title, LLC 710 Route 43 E # 206 Fairfield, NJ 07004-1569	58.02		Princeton Theological Seminary CN 821 Princeton, NJ 08540
			58.04		
	12.06	Carnegie HP Owner LLC PO Box 9222 Coppell, TX 75019	84.01		15 Farber Rd LLC 30 Highland Ridge Rd Manalapan, NJ 07726-8636
	12.07	Cole Mg/Ob W Windsor NJ 2555 E. Camelback Rd # 400 Phoenix, AZ 85016-4288	9	12.01	Palladium Realty LLC c/o Mack Call P.O. Box 7817 Edison, NJ 08818-7817
	14.03	Berk-Cohen Assoc PO Box 9222 Coppell, TX 75019	89		Carnegie 510 Assoc-Boston Prop. 800 Boylston St, Ste 1900 Boston, MA 02199-8101

Plan Index

Sheet 1	Cover Sheet
Sheet 2	Existing Conditions Plan
Sheet 3	Overall Site Plan
Sheet 4	Site Details
Sheet 5	Soil Erosion & Sediment Control Plan
Sheet 6	Soil Erosion & Sediment Control Details

Owner & Applicant

Teachers Insurance and Annuity Association of America
for the Benefit of its Separate Real Estate Account, CBRE
Inc. is the Authorized Agent
3535 Route 1 South
Princeton, N.J. 08540
609-452-7777

ZONING TABLE:

Zone B-2 Business District (Neighborhood Center)
Planned Commercial Development

Minimum	Required	Existing	Proposed
Lot Area	5 ac	27.54 ac	27.54 ac
Lot Frontage	250 ft	924± ft	924± ft
Lot Width	250 ft	680± ft	680± ft
Front Setback	50 ft	127.0 ft	127.0 ft
Side Setback	15 ft	83.0 ft	83.0 ft
Rear Setback	15 ft	34.0 ft	34.0 ft
Distance of Access Drive To Residential District	50 ft	120± ft	120± ft
Maximum			
Lot Area Coverage	60 %	78.90%± (1)	78.90%± (2)
Floor Area Ratio	21% (3)	20.3%± (4)	20.3%± (4)

- Includes 247 s.f. of previously approved patio area.
- Includes 1,355 s.f. of proposed and 500 s.f. for future use, Total of 1,855 s.f. Includes covering 58 standard stalls to compact stalls, resulting a removal of 2,088 s.f. of coverage.
- Required F.A.R. calculated using a blend of 0.25 allowable for 6.91 acres and 0.20 allowable for 27.54 acres consistent with prior Planning Board approvals.
- Existing and proposed FAR calculated using gross leasable area (GLA) and 27.54 acre lot area for the mall consistent with prior Planning Board approvals.

Parking Calculations

Existing Parking = 1,230 spaces (1,187 standard & 43 Accessible)
Proposed Parking = 1,230 spaces (1,129 standard, 58 compact & 43 Accessible)

Minor Site Plan For Marketfair

Lot-14.04 Block-7.15 Zone- B2
Date: October 15, 2020 Scale: As Shown
Applicant: Teachers Insurance and Annuity Association of America,
for the Benefit of its Separate Real Estate Account.
CBRE, Inc. is the Authorized Agent
3535 Route 1 South
Princeton, NJ 08540
609-452-7777

Site Plan Control No. : _____

I consent to the filing of this site plan with the Planning Board of West Windsor

Applicant: CBRE, Inc. is the Authorized Agent for Teachers Insurance and Annuity Association of America, for the Benefit of its Separate Real Estate Account
3535 Route 1 South
Princeton, NJ 08540

I hereby certify that a bond has been posted for all the required Improvements in compliance with all applicable codes and ordinances.

Township Clerk _____ Date _____

Building Permit Issued _____ Date _____

Verification that payment of municipal taxes or assessments is current.

Township Clerk _____ Date _____

Approved by the Planning Board of West Windsor Township Preliminary/Final approval date _____

Chairman _____ Date _____

Secretary _____ Date _____

Approved by The West Windsor Township Board of Health

Chairman _____ Date _____

Expiration Of Approval (final - 2 years) _____
Date without extensions

No.	Date	Description
1.	2/17/21	Revise parking and coverage



Princeton Junction Engineering, P.C.
Professional Engineers, Land Surveyors and Planners
P.O. Box 610 - 53 North Post Road
Princeton Junction, New Jersey 08550
Telephone: 609.799.1906 Facsimile: 609.799.1524 Email:pjpec@pjpec.com

No. 24327
No. 32112
No. 44194

PE, CME, PP & PLS
P.L.S., PP
PE, CME

D. Geoffrey Brown
Frank J. Falcone
Kerim D. Braker
Kenneth H. Braker

N.J. Professional Engineer License No. 24327
Date: 2/17/21

N.J. Professional Engineer & Land Surveyor License No. 44194
Date: 2/21/17

D. Geoffrey Brown
Kevin M Braker

MINOR SITE PLAN APPLICATION
Cover Sheet
of Tax Map Lot 14.04, Block 7.15, Sheet 7.04 for
Marketfair
West Windsor Township * Mercer County * New Jersey

Date: Oct. 15, 2020
Scale: as shown
Drawn: kmb
Check: DGB/KMB

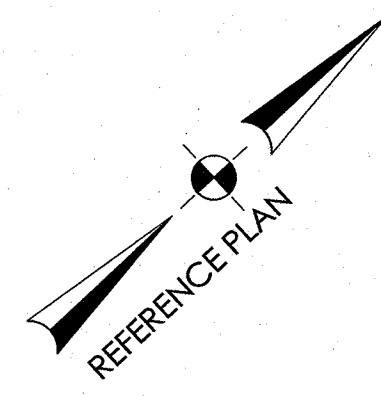
Job No: B200901
Dwg: 01-Cover
View: PLAN

File

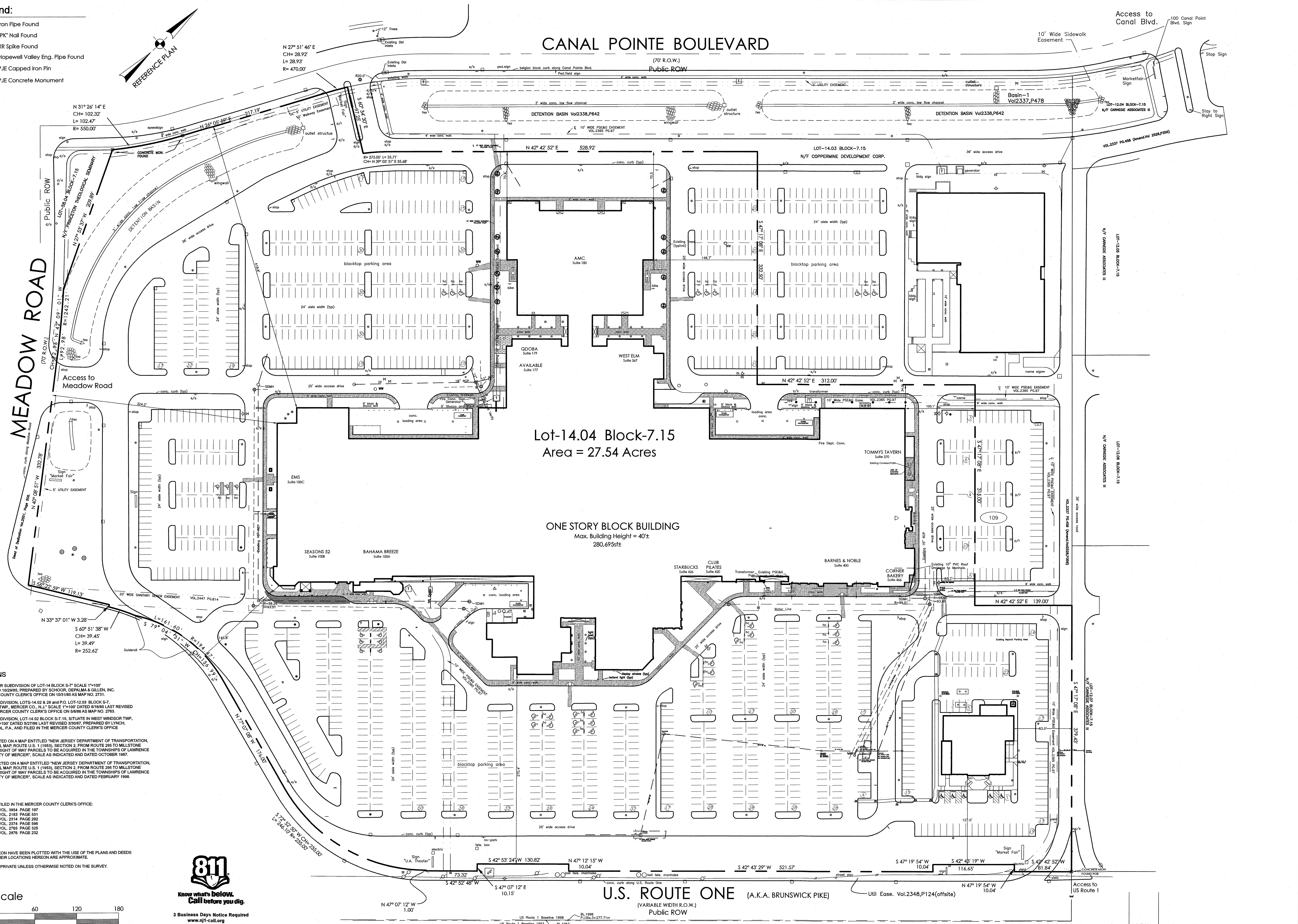
Sheet 1 of 4

Corner Legend:

- IP fnd Iron Pipe Found
- Nail fnd "PK" Nail Found
- RR Spike fnd RR Spike Found
- HVE IP fnd Hopewell Valley Eng. Pipe Found
- PJE PJE Capped Iron Pin
- PJE PJE Concrete Monument



CANAL POINTE BOULEVARD



Lot-14.04 Block-7.15
Area = 27.54 Acres

ONE STORY BLOCK BUILDING
Max. Building Height = 40'±
280,695sf±

REFERENCE PLANS

PLAN ENTITLED "FINAL MAJOR SUBDIVISION OF LOT-14 BLOCK S-7" SCALE 1"=100' DATED 5/14/84 LAST REVISED 10/28/88, PREPARED BY SCHOOR, DEPALMA & GILLEN, INC. AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON 10/18/88 AS MAP NO. 2731.

PLAN ENTITLED "MAJOR SUBDIVISION, LOTS 14-63 & 28 and P.O. LOT-12-03 BLOCK S-7 SITUATE IN WEST WINDSOR TWP., MERCER CO., N.J." SCALE 1"=100' DATED 8/18/85 LAST REVISED 4/18/88 AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON 5/8/88 AS MAP NO. 2783.

PLAN ENTITLED "MAJOR SUBDIVISION, LOT-14-02 BLOCK S-7.15, SITUATE IN WEST WINDSOR TWP., MERCER CO., N.J." SCALE 1"=100' DATED 6/27/88 LAST REVISED 3/30/97, PREPARED BY LYNCH, CARMODY, GULLIANO & KAROL, P.A. AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON 7/28/87 AS MAP NO. 2852.

BEING PARCEL 34, AS DEPICTED ON A MAP ENTITLED "NEW JERSEY DEPARTMENT OF TRANSPORTATION, GENERAL PROPERTY PARCEL MAP ROUTE U.S. 1 (1953), SECTION 2, FROM ROUTE 285 TO MILLSTONE RIVER, SHOWING EXISTING RIGHT OF WAY PARCELS TO BE ACQUIRED IN THE TOWNSHIPS OF LAWRENCE AND WEST WINDSOR, COUNTY OF MERCER", SCALE AS INDICATED AND DATED OCTOBER 1987.

BEING PARCEL 145, AS DEPICTED ON A MAP ENTITLED "NEW JERSEY DEPARTMENT OF TRANSPORTATION, GENERAL PROPERTY PARCEL MAP ROUTE U.S. 1 (1953), SECTION 2, FROM ROUTE 285 TO MILLSTONE RIVER, SHOWING EXISTING RIGHT OF WAY PARCELS TO BE ACQUIRED IN THE TOWNSHIPS OF LAWRENCE AND WEST WINDSOR, COUNTY OF MERCER", SCALE AS INDICATED AND DATED FEBRUARY 1988.

REFERENCE DEEDS

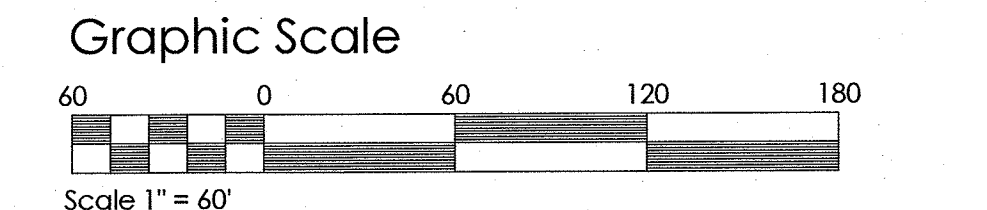
THE FOLLOWING DEEDS AS FILED IN THE MERCER COUNTY CLERK'S OFFICE:

- VOL. 3854 PAGE 197
- VOL. 2183 PAGE 531
- VOL. 2314 PAGE 293
- VOL. 2374 PAGE 596
- VOL. 2765 PAGE 325
- VOL. 2976 PAGE 232


NOTE:

EASEMENTS DEPICTED HEREON HAVE BEEN PLOTTED WITH THE USE OF THE PLANS AND DEEDS REFERENCED ABOVE AND THEIR LOCATIONS HEREON ARE APPROXIMATE.

ALL INTERNAL STREETS ARE PRIVATE UNLESS OTHERWISE NOTED ON THE SURVEY.



U.S. ROUTE ONE (A.K.A. BRUNSWICK PIKE)



Princeton Junction Engineering, P.C.
Professional Engineers, Land Surveyors and Planners
P.O. Box 610 - 53 North Post Road
Princeton Junction, New Jersey 08550
Telephone: 609.799.1906 Facsimile: 609.799.1524 Email: pje@pjepe.com

D. Geoffrey Brown
N.J. Professional Engineer & Land Surveyor License No. 24327
Date: 2/17/21

Kevin M. Brakel
N.J. Professional Engineer License No. 44194
Date: 2/21/17

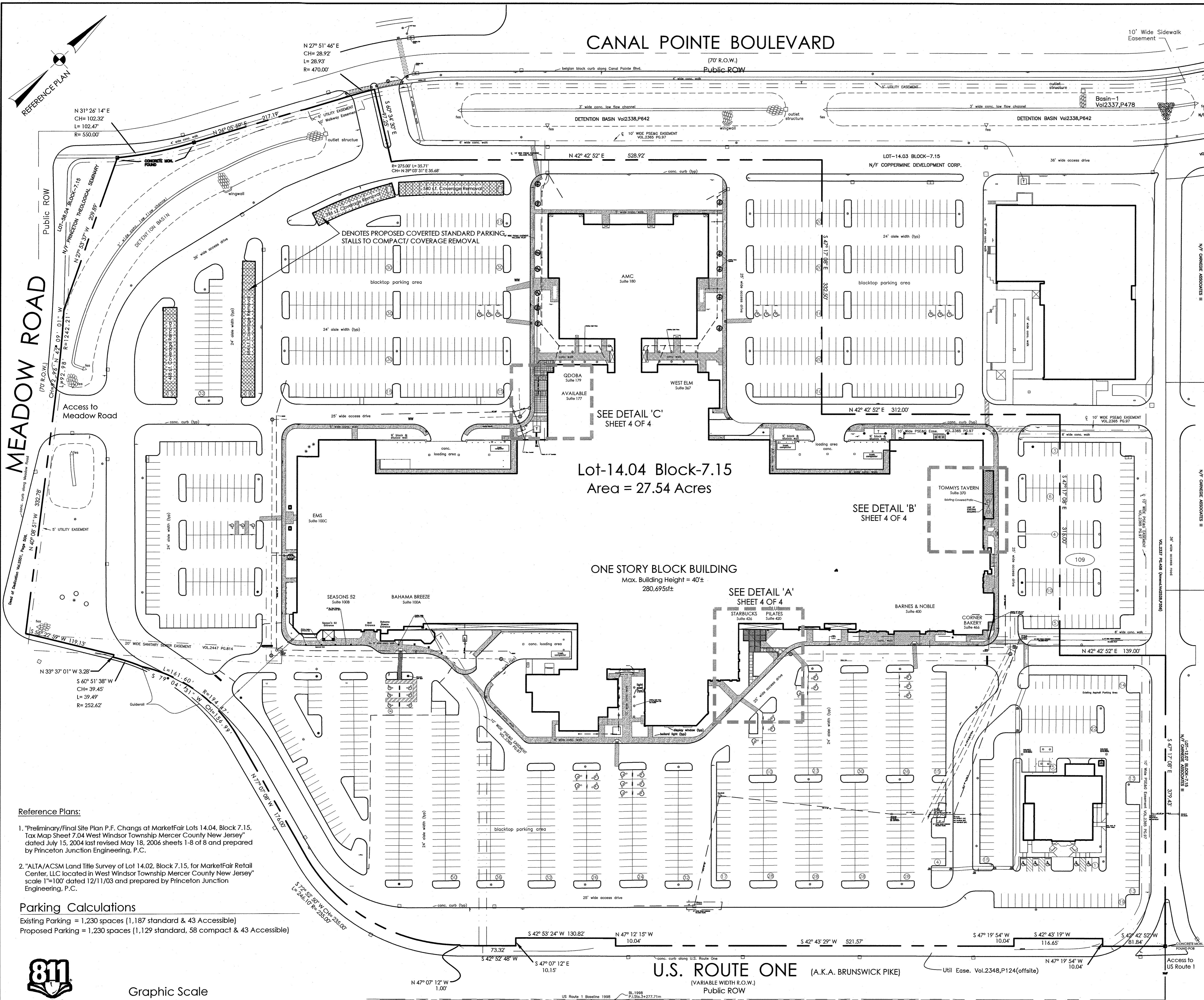
MINOR SITE PLAN APPLICATION
Existing Conditions Plan
of Tax Map Lot 14.04, Block 7.15, Sheet 7.04 for
Marketfair
West Windsor Township * Mercer County * New Jersey

No.	Date	Description
1.	2/17/21	Revise parking and coverage

Job No: B200901
Dwg: 02-Exist
View: PLAN

File

Sheet 2 of 4



Legend

→ stop sign	→ stop sign	○ utility pole
→ directional arrow sign	→ directional arrow sign	○ existing light pole
→ bus stop sign	→ bus stop sign	○ proposed single light pole
→ no stopping/handling sign	→ no stopping/handling sign	○ rip rap outlet protection
→ bike parking sign	→ bike parking sign	○ gas meter
→ emergency water access sign	→ emergency water access sign	○ catch basin
→ pooling/evaporation sign	→ pooling/evaporation sign	○ manhole
→ yield sign	→ yield sign	○ storm manhole with grate
→ handicap parking sign	→ handicap parking sign	○ gate valve
→ Proposed Inaccessible Parking Sign	→ Proposed Inaccessible Parking Sign	○ storm manhole with grate
→ Proposed Removable Vest Sign	→ Proposed Removable Vest Sign	○ gate valve
→ Proposed Fuel Crossing Sign	→ Proposed Fuel Crossing Sign	○ transformer pad
→ Vestal Direction Sign (V)	→ Vestal Direction Sign (V)	○ storm sewer grate
→ water valve	→ water valve	○ floor light
→ fire hydrant	→ fire hydrant	○ flag pole
→ gas valve	→ gas valve	○ storm sewer grate
→ fire	→ fire	○ flag pole
→ fire end section	→ fire end section	○ existing spot elevation
→ HC-1	→ HC-1	○ AS-18
→ existing curb	→ existing curb	○ AS-18
→ existing curb to be removed	→ existing curb to be removed	○ AS-18
→ proposed curb	→ proposed curb	○ AS-18
→ depressed curb	→ depressed curb	○ AS-18
→ Proposed Vestal Traffic Flow	→ Proposed Vestal Traffic Flow	○ AS-18

- ### Notes:
1. "MarketFair" site management shall designate employee parking in the least used spaces on the site and shall enforce the use.
 2. All construction details shall be subject to review and approval of the Township Engineer.
 3. This application is for the expansion of designated patio areas only.
 4. Vegetation within all right triangles shown shall be maintained to be not more than 24" in height or pruned to a height of 4 feet.
 5. Maximum vertical rise for curb ramps @ 1:12 is six (6) inches.
 6. See architectural plans for all patio details and plantings.
 7. All new impervious surfaces shall slope a minimum of two (2) percent away from building (where feasible).
 8. There is a net increase of 1,855 sq. ft. of impervious surface as a result of this application which includes 500 sq. ft. for future use.
 9. Location and elevations of underground utilities and features shown hereon, have been collected from various sources and are not guaranteed as to accuracy or completeness. The contractor shall verify all information to his satisfaction prior to excavation or construction. Where existing utilities or features may interfere with proposed construction, test pits shall be dug by the contractor prior to construction to ascertain existing locations and elevations. Any conflicts shall be brought to the attention of the engineer prior to construction to permit adjustments as required to resolve conflicts.
 10. Subject to the review and approval of the Township Landscape Architect, the applicant shall replace existing dead material throughout the site over a three year period commencing with the resolution memorializing approval of this application.
 11. Except as provided for in Note 12 below, the applicant shall address the adequacy of lighting in the areas of proposed renovations around the building exterior through submission of site lighting plans. Tenants shall submit any supplemental lighting information to the Township Engineer for approval.
 12. Any lighting in outdoor spaces controlled by the tenant shall secure necessary approvals. Such designs shall be subject to Township Engineer approval and be consistent with overall lighting design for the site.
 13. All new concrete finished surfaces as shown on the Architectural Plans. The concrete finishes shall be subject to review and approval by the Township Engineer and Landscape Architect.
 14. See Architectural Plans for location and specifications for trash receptacles and other outdoor furnishings and subject to approval by the Township Engineer and Landscape Architect.

Minor Site Plan for MarketFair
 Lot-14.04 Block-7.15 Zone-B2
 Date: October 15, 2020 Scale: As Shown
 Applicant: Teachers Insurance and Annuity Association of America,
 for the benefit of its Separate Real Estate Account,
 CBRE, Inc. is the Authorized Agent
 3535 Route 1 South
 Princeton, NJ 08540
 609-452-7777

Site Plan Control No.: _____
 I consent to the filing of this site plan with the Planning Board of West Windsor

Applicant: CBRE, Inc. is the Authorized Agent for Teachers Insurance and Annuity Association of America, for the benefit of its Separate Real Estate Account
 3535 Route 1 South
 Princeton, NJ 08540

I hereby certify that a bond has been posted for all the required improvements in compliance with all applicable codes and ordinances.

Township Clerk _____ Date _____
 Building Permit Issued _____ Date _____
 Verification that payment of municipal taxes or assessments is current.

Township Clerk _____ Date _____
 Approved by the Planning Board of West Windsor Township Preliminary/Final approval date _____

Chairman _____ Date _____
 Secretary _____ Date _____
 Approved by the West Windsor Township Board of Health

Chairman _____ Date _____
 Expiration Of Approval (final - 2 years) _____ Date without extensions _____

Reference Plans:

1. Preliminary/Final Site Plan P.F. Changes at MarketFair Lots 14.04, Block 7.15, Tax Map Sheet 7.04 West Windsor Township Mercer County New Jersey dated July 15, 2004 last revised May 18, 2006 sheets 1-8 of 8 and prepared by Princeton Junction Engineering, P.C.
2. ALTA/ACSM Land Title Survey of Lot 14.02, Block 7.15, for MarketFair Retail Center, LLC located in West Windsor Township Mercer County New Jersey scale 1"=100' dated 12/11/03 and prepared by Princeton Junction Engineering, P.C.

Parking Calculations
 Existing Parking = 1,230 spaces (1,187 standard & 43 Accessible)
 Proposed Parking = 1,230 spaces (1,129 standard, 58 compact & 43 Accessible)

Graphic Scale
 Scale 1" = 60'

Princeton Junction Engineering, P.C.
 Professional Engineers, Land Surveyors and Planners
 P.O. Box 610 - 53 North Post Road
 Princeton Junction, New Jersey 08550
 Telephone: 609.799.1906 Facsimile: 609.799.1524 Email: pje@pje.com

D. Geoffrey Brown No. 24327 PE, CME, PP & PLS
 Frank J. Falcone No. 32112 PLS, PP
 Martin D. Katz No. 36249 PLS
 Kevin M. Brakei No. 44194 PE, CME

MINOR SITE PLAN APPLICATION
Overall Site Plan
 of Tax Map Lot 14.04, Block 7.15, Sheet 7.04 for
MarketFair
 West Windsor Township * Mercer County * New Jersey

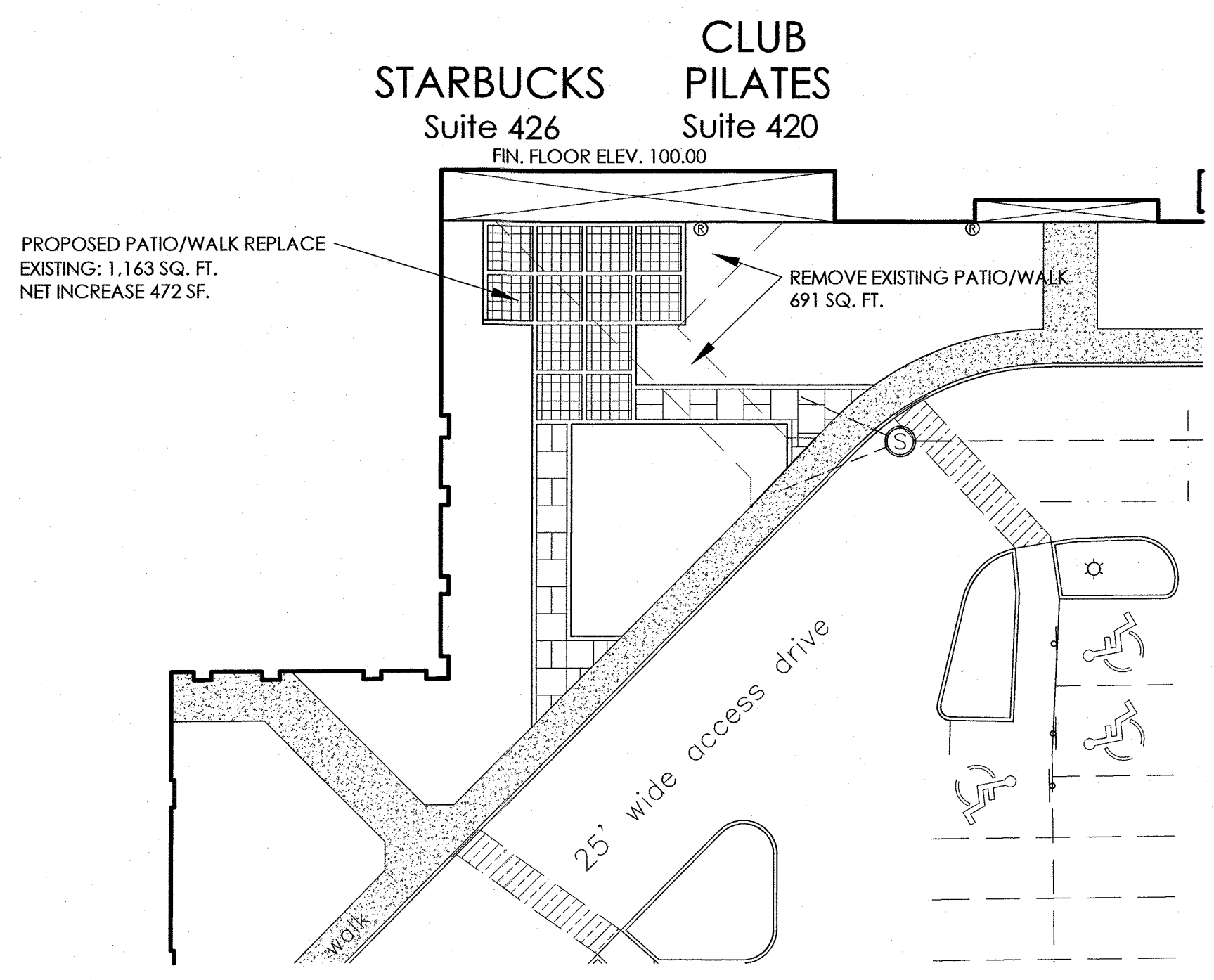
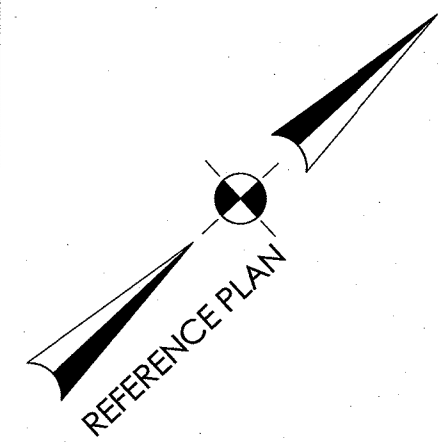
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Job No: B200901
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 View: PLAN

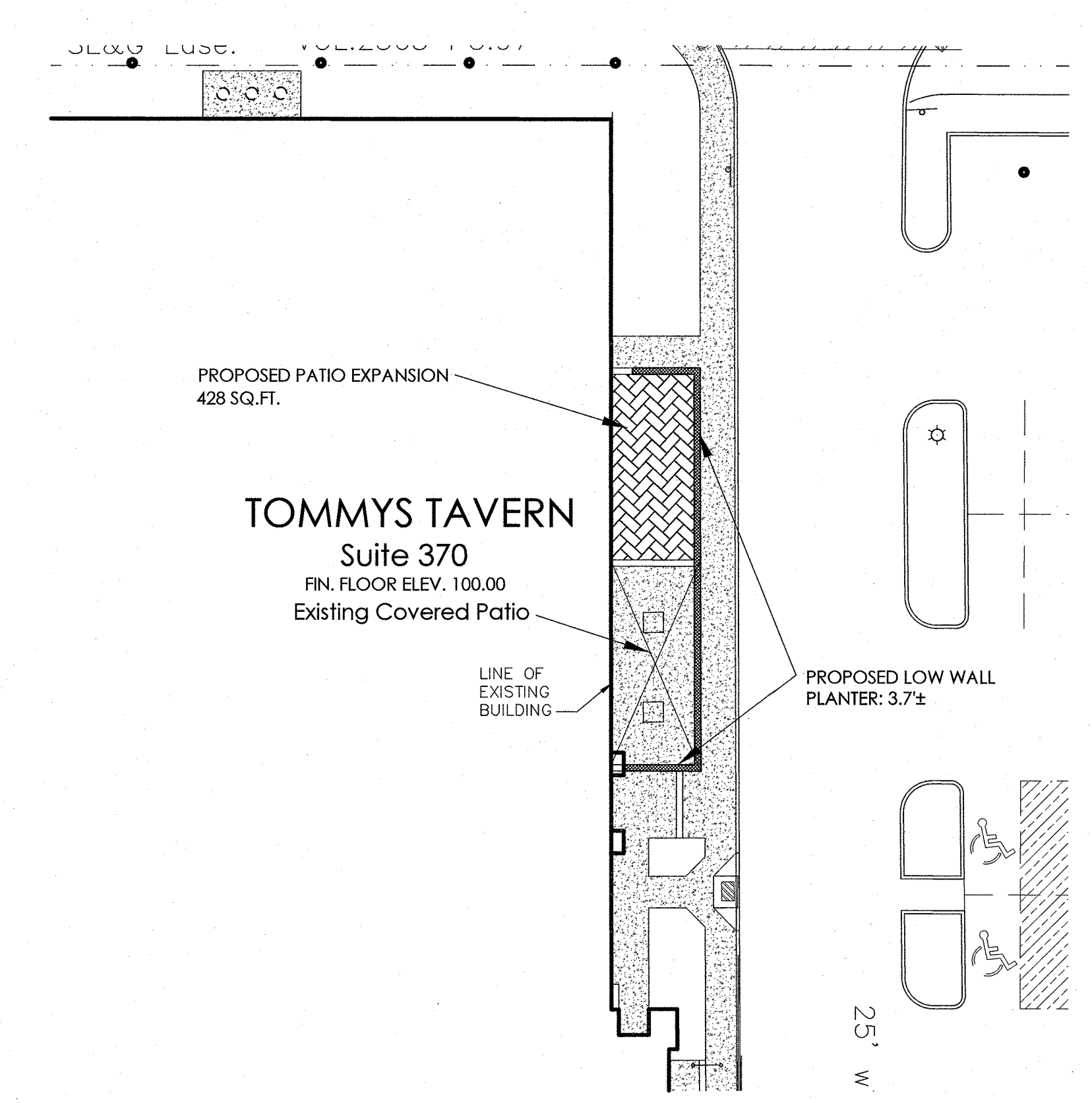
File

1.	2/17/21	Revise parking and coverage
No.	Date	Description
REVISIONS		

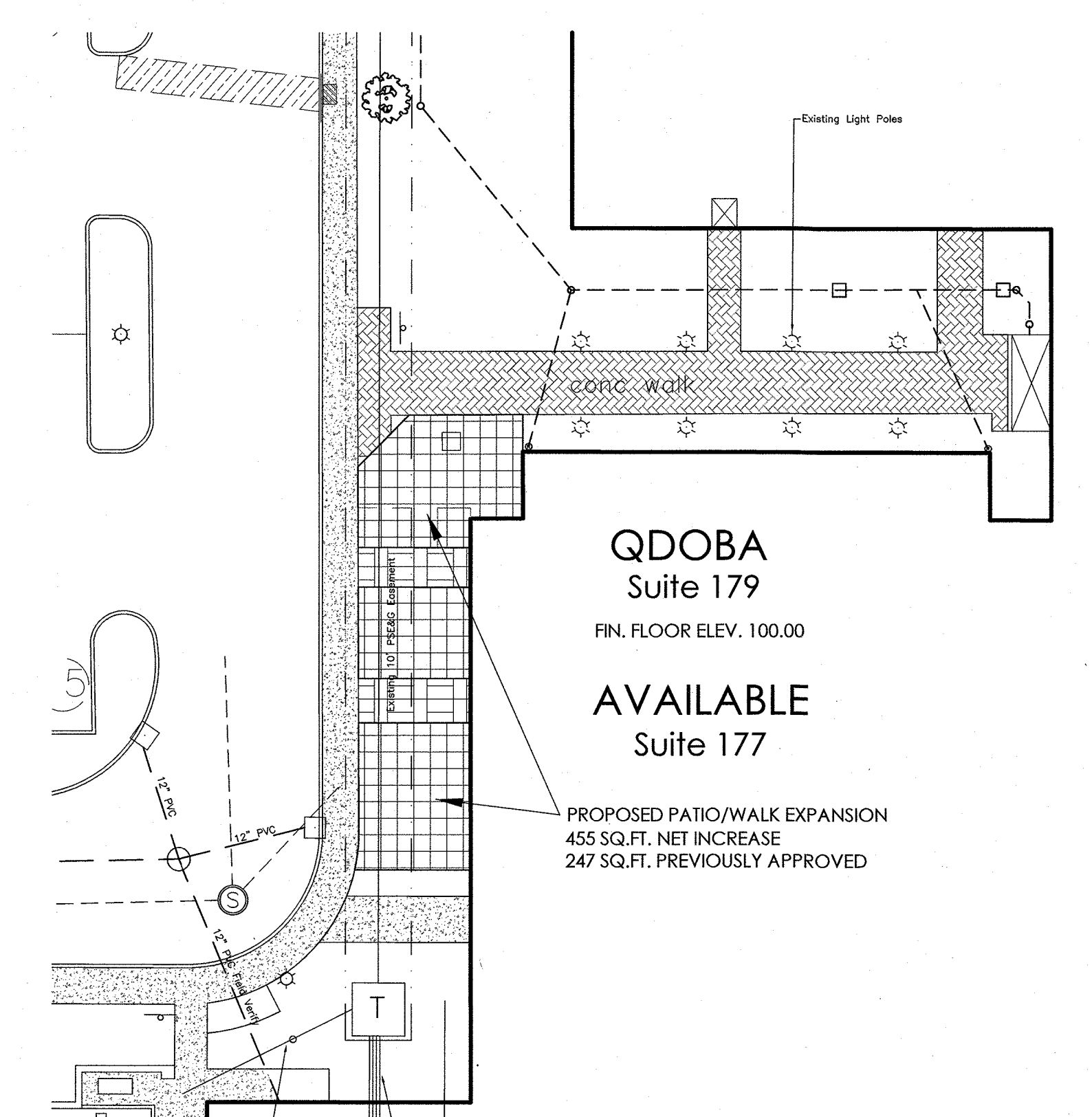
Sheet 3 of 4



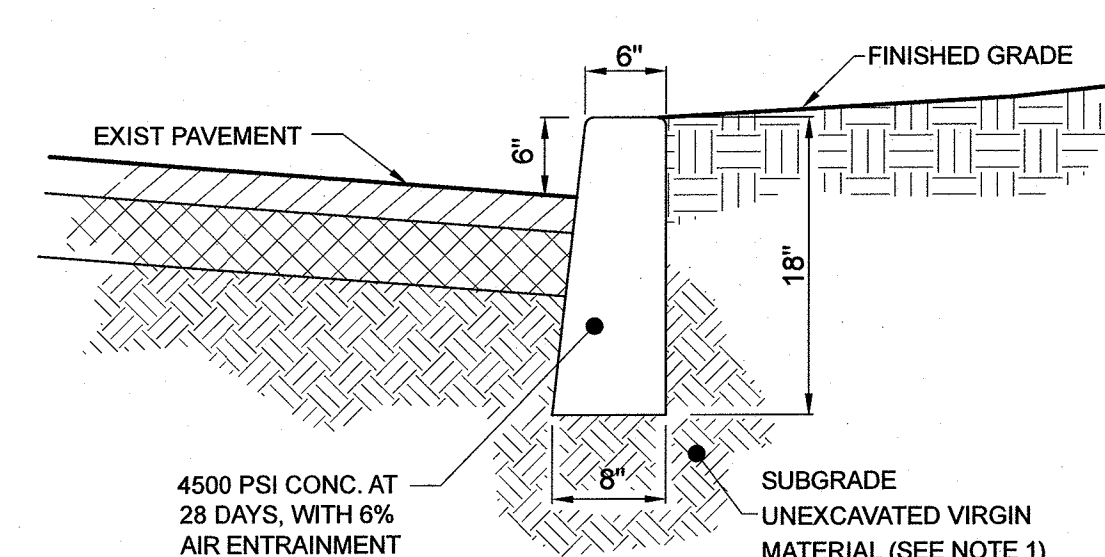
DETAIL 'A': Suites 420 & 426



DETAIL 'B': Suite 370



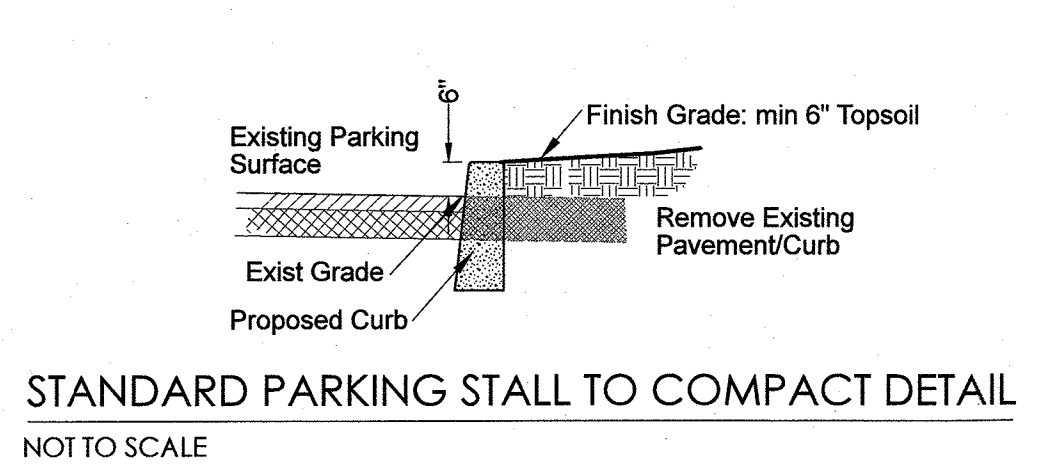
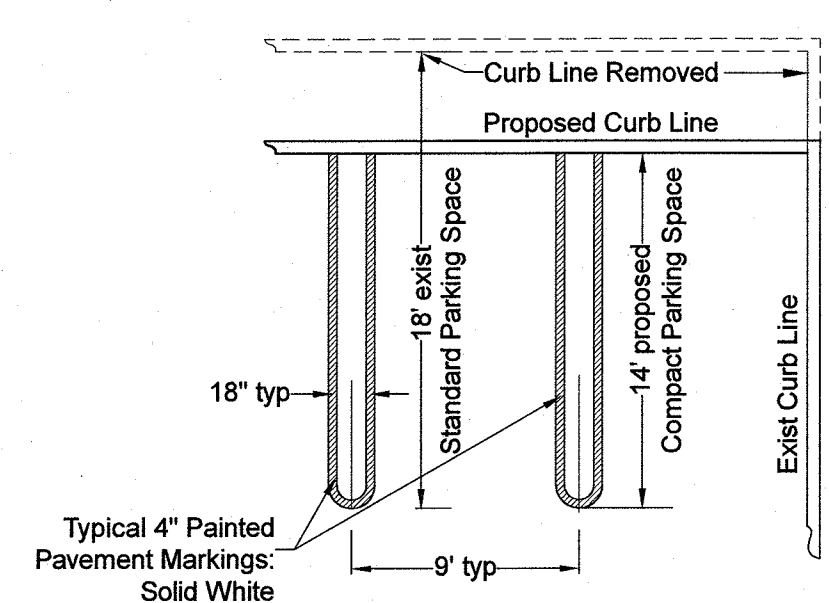
DETAIL 'B': Suites 177 & 179



CONCRETE CURB DETAIL NOT TO SCALE

NOTES

1. ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4" CLEAN CRUSHED STONE. ALL SUBGRADES SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO POURING.
2. EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL DISTANCES OF NOT MORE THAN 20' AT ALL STORM SEWER INLETS. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK. CONFORMING TO NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE JOINT SHALL BE RECESSED 1/4" FORM THE TOP AND FRONT OF THE CONCRETE CURB.



STANDARD PARKING STALL TO COMPACT DETAIL NOT TO SCALE

Legend

→ stop	stop sign	○	utility pole
→ 45°	directional arrow sign	○	existing light pole
→ bus	bus stop sign	○	proposed single light pole
→ 45°	no stopping/standing sign	○	rip-rap outlet protection
→ bike	bike parking sign	○	gas meter
→ 32x	emergency water access sign	○	catch basin
→ 25'	parking restriction sign	○	manhole
→ yield	yield sign	○	West Windsor sanitary sewer manhole
→ hc	handicap parking sign	○	storm manhole with grate
→ hc	Proposed Handicap Parking Sign	○	gas valve
→ vp	Proposed Removable Valet Sign	○	clean out
→ 25'	Proposed Prod. Closing Sign	○	transformer pad
→ 25'	Valet Direction Sign (D)	○	storm sewer grate
→	water valve	○	floor light
→	fire hydrant	○	flag pole
→	gas valve	○	existing spot elevation
→	flared end section	○	As-built Top Curb elevation
→	HC-1	○	As-built Bottom Curb elevation
→	As-built curb	○	As-built Top of Dep. Curb elevation
→	As-built curb to be removed	○	
→	depressed curb	○	
→	Proposed Valet Traffic flow	○	

- Notes:**
1. "MarketFair" site management shall designate employee parking in the least used spaces on the site and shall enforce the use.
 2. All construction details shall be subject to review and approval of the Township Engineer.
 3. This application is for the expansion of designated patio areas only.
 4. Vegetation within all sight triangles shown shall be maintained to be not more than 24" in height or pruned to a height of 6 feet.
 5. Maximum vertical rise for curb ramps @ 1:12 is six (6) inches.
 6. See architectural plans for all patio details and plantings.
 7. All new impervious surfaces shall slope a minimum of two (2) percent away from building (where feasible).
 8. There is a net increase of 1,855 sq. ft. of impervious surface as a result of this application which includes 500 sq. ft. for future use.
 9. Location and elevations of underground utilities and features shown herein, have been collected from various sources and are not guaranteed as to accuracy or completeness. The contractor shall verify all information to his satisfaction prior to excavation or construction. Where existing utilities or features may interfere with proposed construction, test pits shall be dug by the contractor prior to construction to ascertain existing locations and elevations. Any conflicts shall be brought to the attention of the engineer prior to construction to permit adjustments as required to resolve conflicts.
 10. Subject to the review and approval of the Township Landscape Architect, the applicant shall replace existing dead material throughout the site over a three year period commencing with the resolution memorializing approval of this application.
 11. Except as provided for in Note 16 below, the applicant shall address the adequacy of lighting in the areas of proposed renovations around the building exterior through submission of site lighting plans. Tenants shall submit any supplemental lighting information to the Township Engineer for approval.
 12. Any lighting in outdoor spaces controlled by the tenant shall secure necessary approvals, such designs shall be subject to Township Engineer approval and be consistent with overall lighting design for the site.
 13. All new concrete finished surfaces as shown on the Architectural Plans. The concrete finishes shall be subject to review and approval by the Township Engineer and Landscape Architect.
 14. See Architectural Plans for location and specifications for trash receptacles and other outdoor furnishings and subject to approval by the Township Engineer and Landscape Architect.

Minor Site Plan For MarketFair
 Lot-14.04 Block-7.15 Zone- B2
 Date: October 15, 2020 Scale: As Shown
 Applicant: Teachers Insurance and Annuity Association of America, for the Benefit of its Separate Real Estate Account, CBRE, Inc. is the Authorized Agent
 3535 Route 1 South
 Princeton, NJ 08540
 609-452-7777

Site Plan Control No. : _____
 I consent to the filing of this site plan with the Planning Board of West Windsor

Applicant: CBRE, Inc. is the Authorized Agent for Teachers Insurance and Annuity Association of America, for the Benefit of its Separate Real Estate Account
 3535 Route 1 South
 Princeton, NJ 08540

I hereby certify that a bond has been posted for all the required Improvements in compliance with all applicable codes and ordinances.

Township Clerk _____ Date _____
 Building Permit Issued _____ Date _____
 Verification that payment of municipal taxes or assessments is current.

Township Clerk _____ Date _____
 Approved by the Planning Board of West Windsor Township Preliminary/Final approval date _____
 Chairman _____ Date _____
 Secretary _____ Date _____
 Approved by The West Windsor Township Board of Health
 Chairman _____ Date _____
 Expiration Of Approval (final - 2 years) _____ Date without extensions _____

- Reference Plans:**
1. Preliminary/Final Site Plan P.F. Chngs at MarketFair Lots 14.04, Block 7.15, Tax Map Sheet 7.04 West Windsor Township Mercer County New Jersey dated July 15, 2004 last revised May 18, 2006 sheets 1-8 of 8 and prepared by Princeton Junction Engineering, P.C.
 2. ALTA/ACSM Land Title Survey of Lot 14.02, Block 7.15, for MarketFair Retail Center, LLC located in West Windsor Township Mercer County New Jersey scale 1"=100' dated 12/11/03 and prepared by Princeton Junction Engineering, P.C.

Parking Calculations
 Existing Parking = 1,230 spaces (1,187 standard & 43 Accessible)
 Proposed Parking = 1,230 spaces (1,129 standard, 58 compact & 43 Accessible)

811
 Know what's below. Call before you dig.
 3 Business Days Notice Required
 www.nj1-call.org

Graphic Scale
 0 20 40 60
 Scale 1" = 20'

PJE
Princeton Junction Engineering, P.C.
 Professional Engineers, Land Surveyors and Planners
 P.O. Box 610 - 53 North Post Road
 Princeton Junction, New Jersey 08550
 Telephone: 609.799.1906 Facsimile: 609.799.1324 Email: pje@pjcpe.com

No. 24327
 No. 32112
 No. 85249
 No. 44194

PE, CME, PP & PLS
 PLS, PP
 PLS
 PE, CME

D. Geoffrey Brown
 Frank J. Falcone
 Martin D. Katz
 Kevin M. Brakel

N.J. Professional Engineer License No. 24327
 Date: 2/17/21
 Kevin M Brakel
 N.J. Professional Engineer License No. 44194
 Date: 2/21/17

MINOR SITE PLAN APPLICATION
Site Plan Details
 of Tax Map Lot 14.04, Block 7.15, Sheet 7.04 for
MarketFair
 West Windsor Township * Mercer County * New Jersey

Date: Oct. 15, 2020
 Scale: 1" = 20'
 Drawn: kmb
 Check: DGB/KMB

Job No: B200901
 Dwg: 04-Site Details
 View: PLAN

File

No.	Date	Description
1.	2/17/21	Revise parking and coverage

Sheet 4 of 4